

VILLAGES OF RIVERWOOD

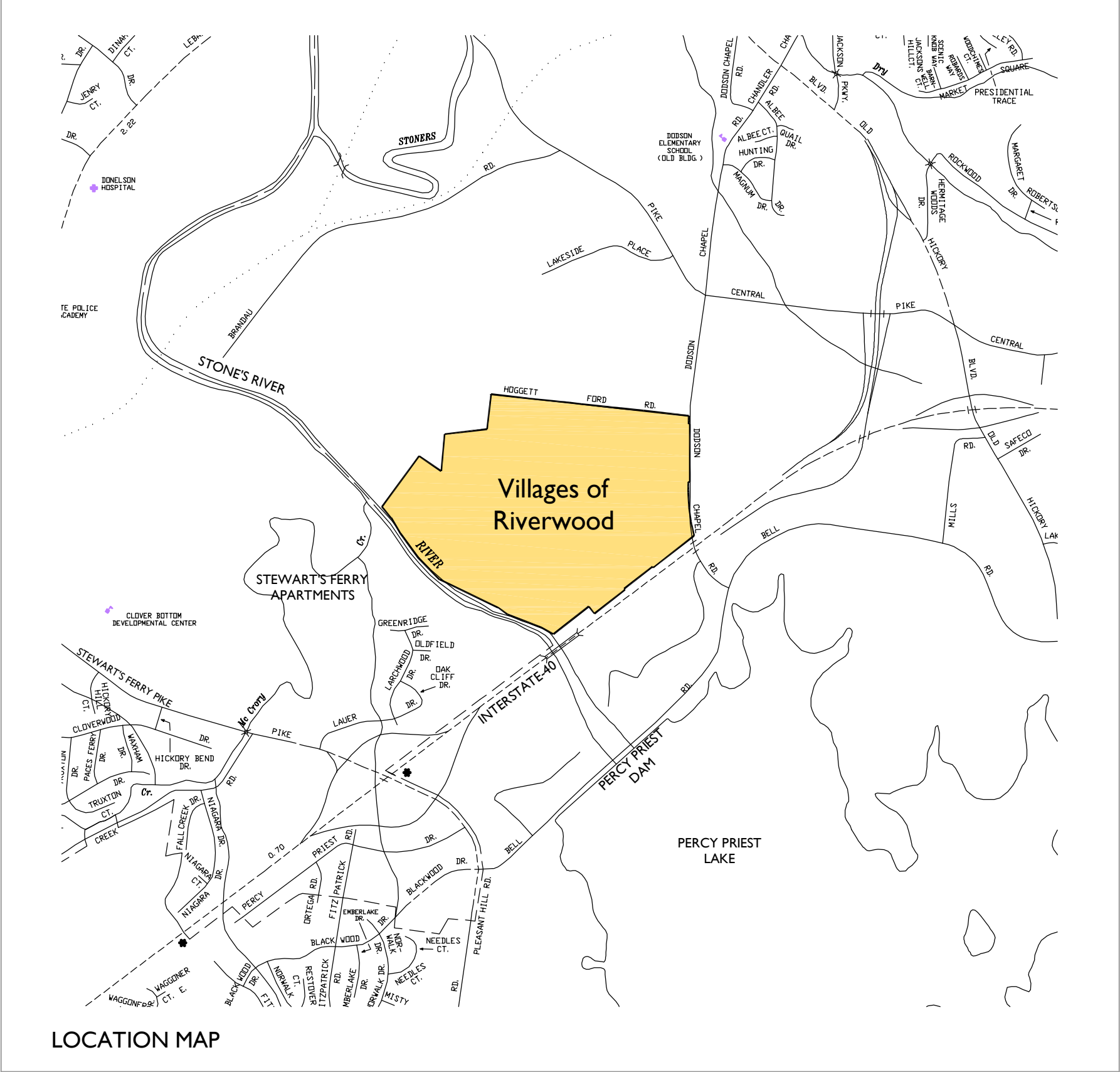
URBAN DESIGN OVERLAY MASTER PLAN

MAP 97, SUBAREA 14, DISTRICT 12
PARCELS 4,5,6,6.01,13,14,16,&134

DAVIDSON COUNTY, HERMITAGE, TENNESSEE

Submitted: June 10, 2004
Revised: July 6, 2004
Revised: July 28, 2004
Revised: August 2, 2004
Revised: August 9, 2004
(for August 12, Planning Commission)





LOCATION MAP

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EXHIBITS:	
A) STORM WATER GRADING CONCEPT	C1-2

DEVELOPER

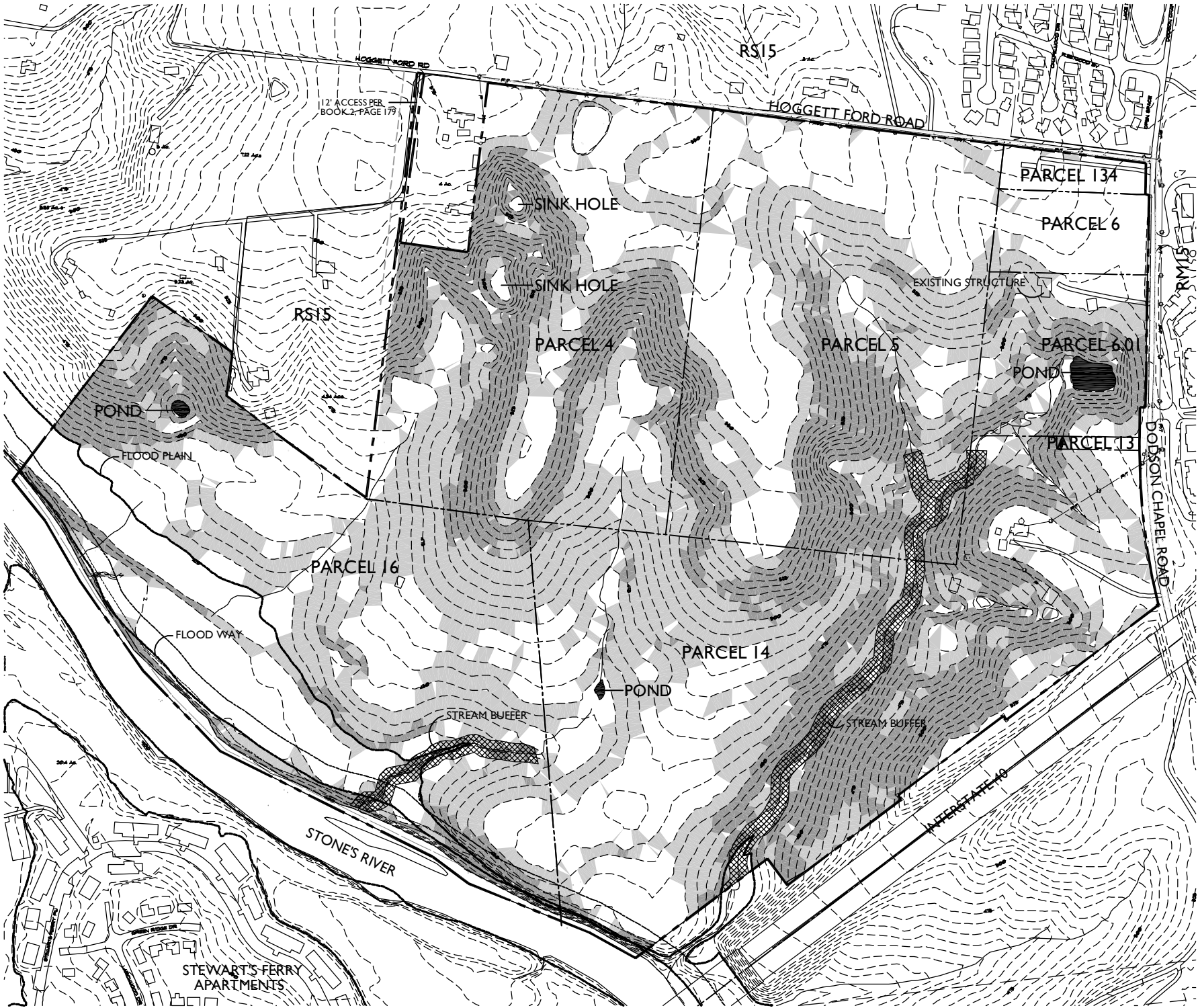
CSP Associates
2000 Mallory Lane, #130-381
Franklin, Tennessee 37067
615.351.5735

LANDSCAPE ARCHITECT
CIVIL ENGINEER

LandDesign, Inc.
135 Second Avenue North
Suite 201
Franklin, TN 37064
615.591.7164

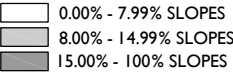
TRAFFIC ENGINEER

Fischbach Transportation Group, Inc.
Lincoln Square
3326 Aspen Grove Drive
Suite 130
Franklin, TN 37067
(615) 771-8022



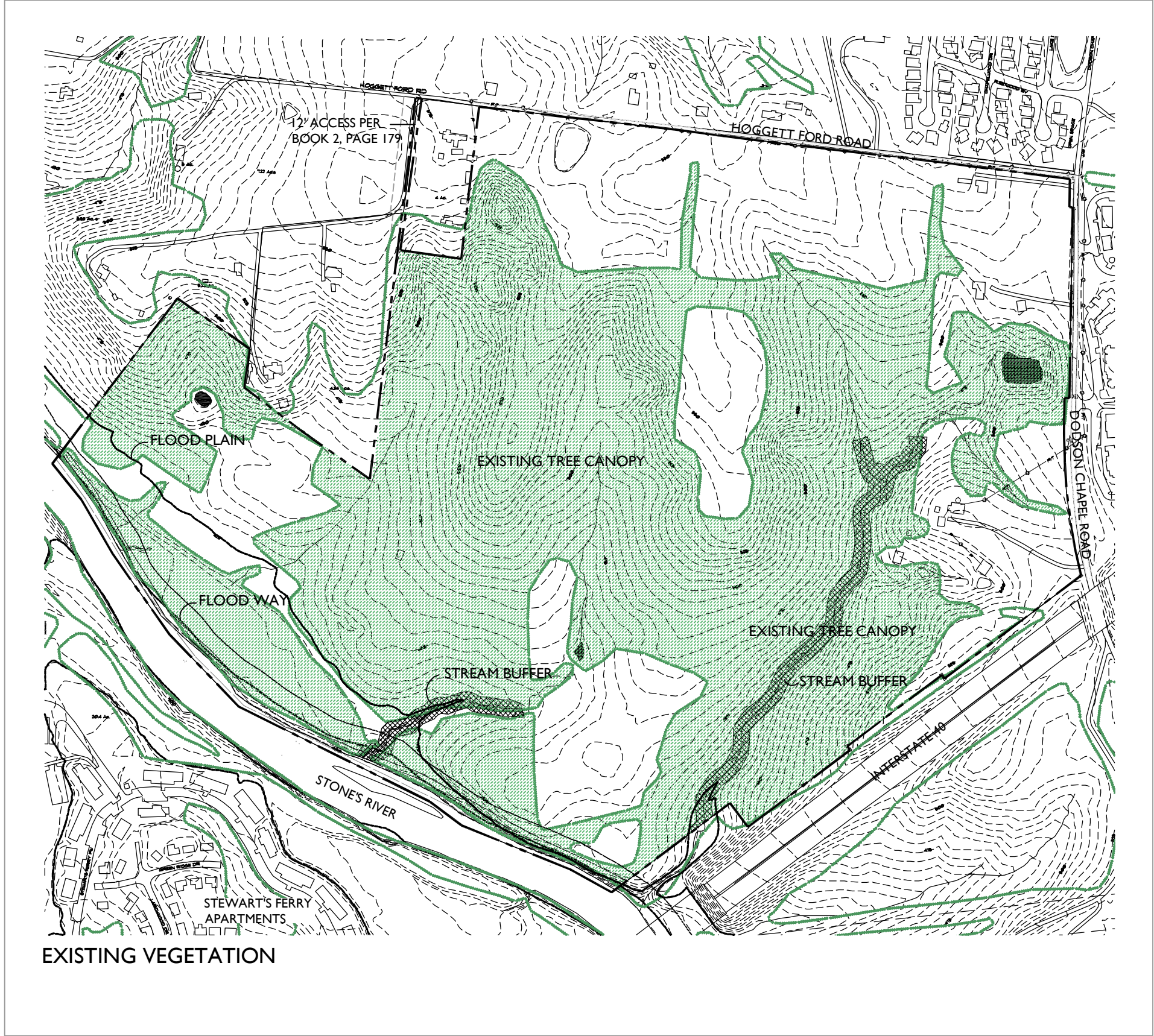
SITE DESCRIPTION:

The Villages of Riverwood is located along the Stones River, just north of the Percy Priest Dam and I-40. The primary access to the site will be located on Dodson Chapel Road. Secondary points of access will be located along Hoggett Ford Road. The community is comprised of approximately 219.8 acres.



SITE DATA:

EXISTING ZONING:	RS15 - SINGLE FAMILY
PROPOSED ZONING:	RM9 (WITH UDO OVERLAY)
	MUN (WITH UDO OVERLAY)
	CS (WITH UDO OVERLAY)
SUBAREA 14 PLAN:	RM (RES. MEDIUM DENSITY) 4-9 DU/AC
TOTAL GROSS ACREAGE:	219.8 ACRES (AC)
PROPOSED LAND USE:	RESIDENTIAL/MIXED USE
	(SINGLE FAMILY DETACHED HOMES, TOWN HOMES, MULTI-FAMILY, AND ASSISTED LIVING WITH ACCESSORY USES)
MAXIMUM ALLOWED DENSITY:	9.0 DU/AC
PROPOSED DENSITY:	9.0 DU/AC



SOILS MAP

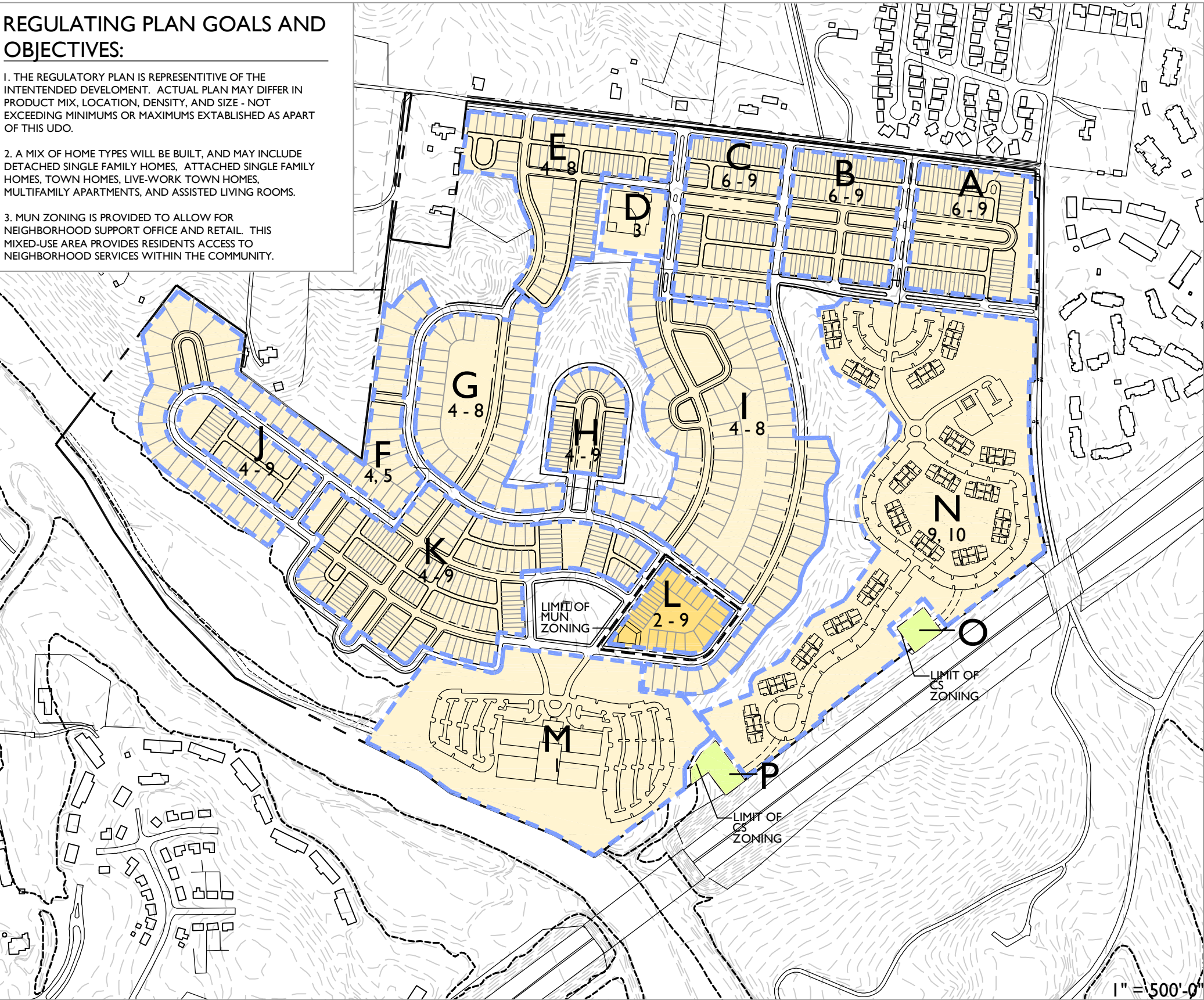
LEGEND

NTS

AmB	Armor silt loam; 2 to 5 percent slopes
AmC	Armour silt loam; 5 to 12 percent slopes
Ar	Arrington silt loam
Eg	Egam silty clay loam
Ld	Lindell silt loam
MaB	Maury silt loam; 2 to 7 percent slopes
StC	Stiversville loam; 3 to 12 percent slopes
StD	Stiversville loam; 12 to 25 percent slopes
TbC	Talbott silt loam; 2 to 10 percent slopes
TrC	Talbott - Rock outcrop complex
W	Water

REGULATING PLAN GOALS AND OBJECTIVES:

- 1. THE REGULATORY PLAN IS REPRESENTATIVE OF THE INTENDED DEVELOPMENT. ACTUAL PLAN MAY DIFFER IN PRODUCT MIX, LOCATION, DENSITY, AND SIZE - NOT EXCEEDING MINIMUMS OR MAXIMUMS ESTABLISHED AS APART OF THIS UDO.
- 2. A MIX OF HOME TYPES WILL BE BUILT, AND MAY INCLUDE DETACHED SINGLE FAMILY HOMES, ATTACHED SINGLE FAMILY HOMES, TOWN HOMES, LIVE-WORK TOWN HOMES, MULTIFAMILY APARTMENTS, AND ASSISTED LIVING ROOMS.
- 3. MUN ZONING IS PROVIDED TO ALLOW FOR NEIGHBORHOOD SUPPORT OFFICE AND RETAIL. THIS MIXED-USE AREA PROVIDES RESIDENTS ACCESS TO NEIGHBORHOOD SERVICES WITHIN THE COMMUNITY.



REGULATING PLAN DATA:

ZONE	AREA
RM9	1978 MAX DU +/- 214.9 AC
MUN	45,000 MAX SF +/- 3.9 AC
CS	+/- 1.0 AC
TOTAL U.D.O.	

APPROXIMATE OPEN SPACE & PARKS = +/- 80AC
APPROXIMATE PUBLIC R.O.W. = +/- 35AC (including alleys)
Total maximum residential units = 1978
Total single family detached units = 411
Total single family attached/town homes = 291
Total multifamily apartments = 500
Total assisted living units = 776 (2328 beds)

- Note:
1. These totals are representative of the intent of the master plan. Actual development totals may fluctuate +/- 15 % for each building typology. No resubmittals to the planning commission are required if the total unit count for a building typology exceeds the total within the 15% fluctuation allowance. The maximum developable units for the UDO is 1978 units.
 2. The street and block layouts illustrated on this plan are conceptual. Final construction plans may deviate from this layout as necessary to comply with required engineering standards and to make adjustments to market conditions.

BUILDING TYPOLOGIES:

SYM	TYPE
1	ASSISTED LIVING
2	MIXED USE
3	RECREATION CENTER
4	60' WIDE SINGLE FAMILY DETACHED-STREET
5	50' WIDE SINGLE FAMILY DETACHED
6	50' WIDE SINGLE FAMILY DETACHED-ALLEY
7	40' WIDE SINGLE FAMILY DETACHED
8	30' WIDE SINGLE FAMILY DETACHED
9	TOWN HOME
10	MULTI FAMILY BUILDINGS

- NOTES:
1. SEE PAGES 4 - 7 FOR REGULATIONS AND DESIGN GUIDELINES ASSOCIATED WITH EACH BUILDING TYPOLOGY. BULK STANDARDS PROVIDED SHALL SUPERSEDE THE CORRESPONDING BASE ZONING BULK STANDARDS.
 2. POD 'D' IS INTENDED AS A RECREATIONAL CLUB SITE WITHIN RM-9 ZONING. USES MAY INCLUDE RECREATIONAL CLUB UP TO 10,000 SQUARE FEET WITH COMMUNITY OFFICES (HOA, GARDEN CLUB, MAINTENANCE, ETC.) EVENT ROOMS, AND POOL. SIMILAR COMMUNITY SUPPORT USES PERMITTED IN RM-9 ZONE ARE ALLOWED.
 3. PODS O & P ARE DESIGNED FOR CS ZONING AND ARE INTENDED FOR TYPE 'B' BILLBOARDS ONLY. THE INTENDED BILLBOARDS ARE LOCATED WITHIN THE PROPERTY BOUNDARY ADJACENT TO INTERSTATE 40 .

MAP LEGEND:

- A — POD NUMBER
- 1-10 — BUILDING TYPOLOGY

ZONING -BULK STANDARDS:

GOALS AND OBJECTIVES:

1. ALL PORTIONS OF THIS PRELIMINARY UDO OVERLAY WILL MEET THE ESTABLISHED LAND USES FOR THE UNDERLYING ZONING CATEGORY.

2. MIXED USE BUILDINGS AND COMMUNITY RECREATION FACILITIES SHOULD INCLUDE SERVICES THAT SUPPORT THE COMMUNITY RESIDENTS AND PROVIDE CONVENIENCES THAT WILL REDUCE TRAFFIC IMPACTS TO ROADS OUTSIDE THE UDO AREA.

PROPOSED USES:

ZONE: RM9

USES TO INCLUDE: SINGLE FAMILY, TOWN HOMES, MULTI-FAMILY, ASSISTED LIVING FACILITY, MEDITATION CHAPEL, PARKS, AND GREENWAY.

ASSISTED LIVING FACILITY TO INCLUDE ACCESSORY USES INCLUDING, BUT NOT LIMITED TO RESTAURANT, SUNDRIES SHOP, MEDICINE SHOP, MEDICAL SUPPLY, BEAUTY SHOP, BARBERSHOP, COFFEE SHOP, DRY CLEANING DROP-OFF, ATM, ATTORNEY / INSURANCE OFFICE, FINANCIAL PLANNING, ADULT DAY CARE, REHABILITATION CENTER, DOCTOR / NURSING CLINIC, AND DAY SPA.

ASSISTED LIVING FACILITY ACCESSORY USES TO OCCUPY A COMBINED TOTAL OF NO MORE THAN 20,000 SF OF THE ASSISTED LIVING FACILITY.

ZONE: MUN

USES TO INCLUDE: SINGLE FAMILY HOMES, TOWN HOMES, LIVE / WORK TOWN HOMES, NEIGHBORHOOD OFFICE AND RETAIL USES AS PERMITTED IN MUN ZONING INCLUDING MEDICAL OFFICE, REHABILITATION SERVICES, ATM

THE INTENDED USES FOR THE MUN ZONES ARE FOR NEIGHBORHOOD SUPPORT. THESE AREAS WILL PROVIDE THE RESIDENTS OF 'THE VILLAGES OF RIVERWOOD COMMUNITY SERVICES INCLUDING, BUT NOT LIMITED TO A GENERAL STORE, DRY CLEANING DROP-OFF, WELLNESS CENTER, DAY SPA, RESTAURANT, COFFEE SHOP, LEGAL & FINANCIAL PLANNING, DOCTOR'S OFFICE, HOME HEALTH NURSING OFFICE & GUEST HOSPITALITY SUITES FOR THE ASSISTED LIVING FACILITY. THESE LISTED USES ARE CONCEPTUAL AND ARE REPRESENTATIVE OF THE INTENT OF THE PROPOSED ZONING.

ZONE: CS

USES TO INCLUDE: BILLBOARD TYPE 'B'

PARKING REQUIREMENTS:

USE:	REQUIRED PARKING:
SINGLE FAMILY	2 PER UNIT
TOWN HOME ³	1 CAR PER BEDROOM FOR UP TO 2 BEDROOMS. .5 FOR EACH ADDITIONAL BEDROOM.
MULTI-FAMILY	1 CAR PER BEDROOM FOR UP TO 2 BEDROOMS. .5 FOR EACH ADDITIONAL BEDROOM.
ASSISTED LIVING	1 CAR PER 3 BEDS
MIXED-USE ¹	NONE REQUIRED

1. WHERE ALLEYS ARE LOCATED AT THE REAR OF THE LOT, LOTS WILL ONLY BE ACCESSED FROM THE ALLEY.

2. TANDUM PARKING BEHIND A GARAGE SPACE SHALL BE PERMITTED TOWARD MEETING THESE REQUIREMENTS.

ZONING -BUILDING TYPOLOGIES:

GOALS AND OBJECTIVES:

1. THE BUILDING TYPOLOGY REGULATIONS LISTED VARY FROM THE UNDERLYING ZONING TO PROVIDE GUIDLINES THAT ALLOW FOR THE DEVELOPMENTS OF LOTS WITH THE CHARACTER OF TRADITIONAL NEIGHBORHOODS.

2. MIXED USE BUILDINGS AND COMMUNITY BUILDINGS SHOULD BE LOCATED CLOSE TO THE SIDEWALK FOR EASY PEDESTRIAN ACCESS TO ENCOURAGE WALKING, BICYCLING, AND ON STREET PARKING.

Assisted Living Facilities

Building Typology 1

Development Standards

Minimum Lot Area: None

Maximum FAR: None

Maximum ISR: None

Front Setback: 20 ' to Edge of Pavement

Side Setback: 0 Feet

Rear Setback: 0 Feet

Maximum Height: 6 - stories maximum.

Required Off-Street Parking: 1 Car per 3 beds

Neighborhood Mixed-use

Building Typology 2

Development Standards

Minimum Lot Area: None

Maximum FAR: None

Maximum ISR: None

Front Setback: 0 Feet

Side Setback: 0 Feet

Rear Setback: 0 Feet

Maximum Height: 3 - stories maximum.

Required Off-Street Parking: None

Recreational Facilities

Building Typology 3

Development Standards

Minimum Lot Area: None

Maximum FAR: None

Maximum ISR: None

Front Setback: 20 Feet

Side Setback: 10 Feet

Rear Setback: 0 Feet

Maximum Height: 3 - stories maximum.

Required Off-Street Parking: None

Building Typology 4



CORNER LOT

Phase 2 Only:

Garage Standards:

1. Provide single-bay garage doors; a double-bay garage door may be utilized if the door is articulated to appear as two-distinct single bay doors. Acceptable articulation shall include the variation of the doors architectural trim profile and depth, window style and orientation, door hardware and/or color scheme that in combination create the appearance of two-distinct "single-bay doors". The single-bay doors shall appear vertically separated at the midpoint through the variation of design elements listed above and no design element may traverse horizontally across the vertical center of the double-bay door.
2. Single-bay garage door openings shall not exceed 9 ft. in width. Double-bay garage door openings shall not exceed 18 ft. in width.
3. The length of the garage facade facing the front property line shall not exceed 20 ft.

Building Typology 5



CORNER LOT

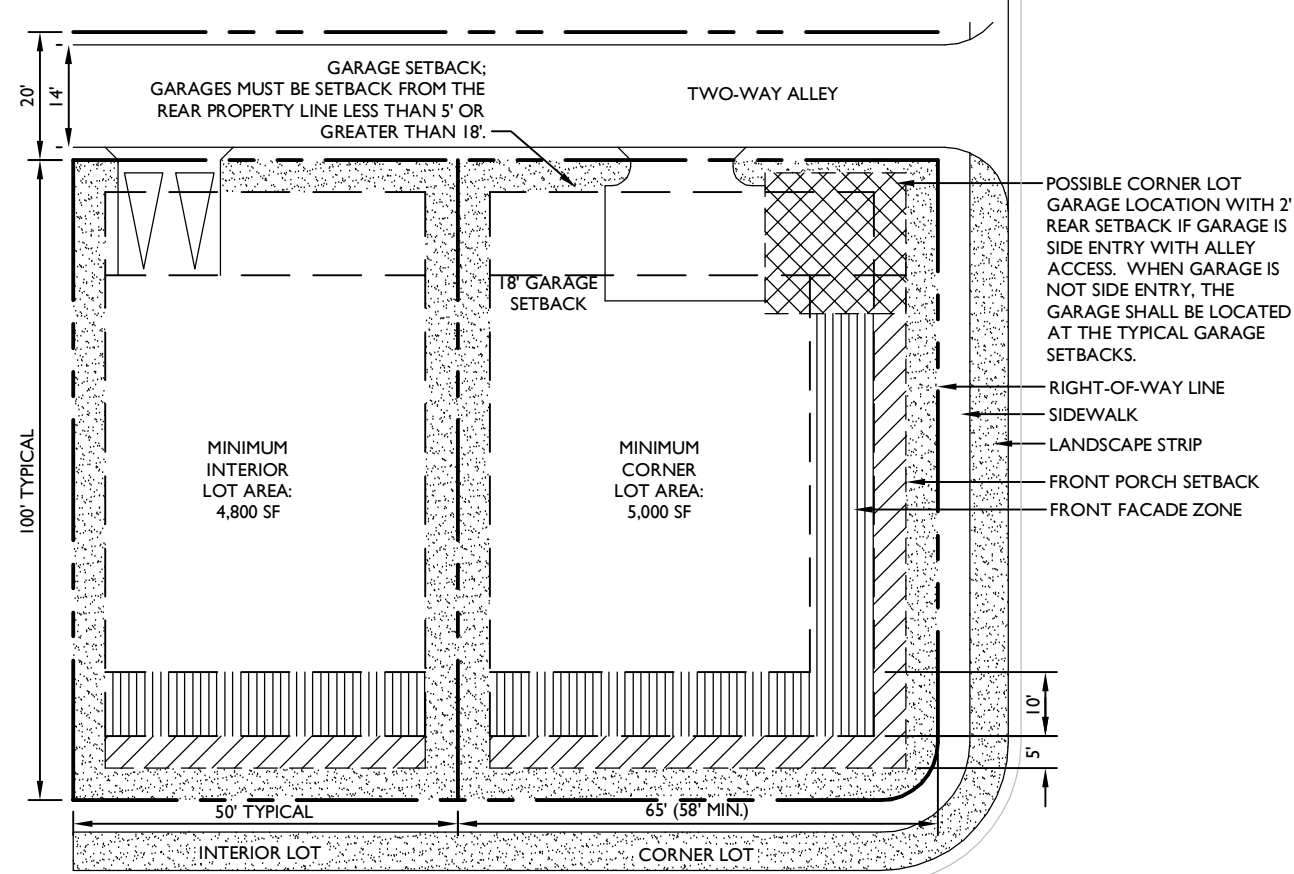
Phase 2 Only:

Garage Standards:

1. Provide single-bay garage doors; a double-bay garage door may be utilized if the door is articulated to appear as two-distinct single bay doors. Acceptable articulation shall include the variation of the doors architectural trim profile and depth, window style and orientation, door hardware and/or color scheme that in combination create the appearance of two-distinct "single-bay doors". The single-bay doors shall appear vertically separated at the midpoint through the variation of design elements listed above and no design element may traverse horizontally across the vertical center of the double-bay door.
2. Single-bay garage door openings shall not exceed 9 ft. in width. Double-bay garage door openings shall not exceed 18 ft. in width.
3. The length of the garage facade facing the front property line shall not exceed 20 ft.

50' Wide Single Family Detached Alley Accessed Lot

Building Typology 6



INTERIOR LOT

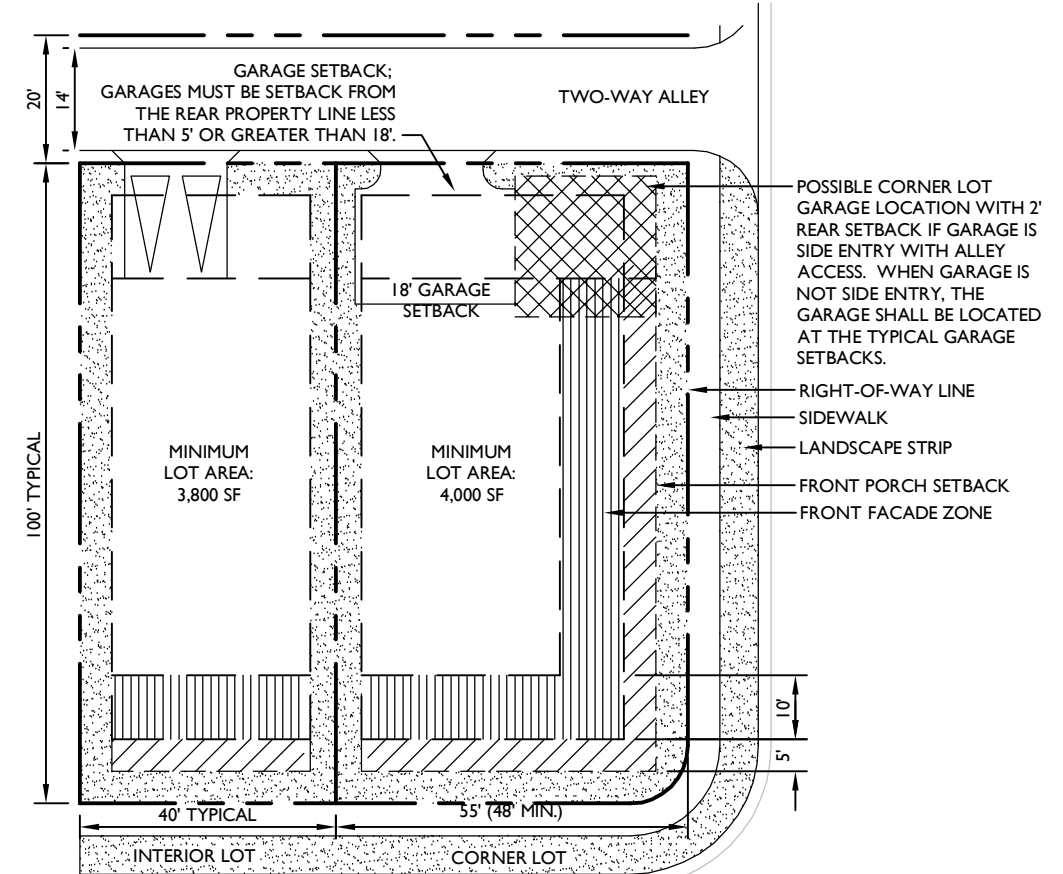
Minimum Lot Area: 5800 SF
Maximum Building Coverage: 75%
Minimum Lot Width at Front Setback: 60 FT
Minimum Lot Depth: 100 FT
Front Facade Zone: 10' to 20' From Front Property Line.
Porch Setback: 5' Minimum
Side Setback: 5' Minimum
Rear Setback: 5' Minimum, Garages must be setback 5' or not less than 18'. No Garage may face the street.
Maximum Height: 3 - Stories
Minimum Raised Foundation at Front Facade: 18"
Required Off-Street Parking: Off street parking and garage access shall be from service lane. Minimum 2 cars per unit.
Porch Depth: 6' Minimum.

CORNER LOT

Minimum Lot Area: 6000 SF
Maximum Building Coverage: 75%
Minimum Lot Width at Front Setback: 68 FT
Minimum Lot Depth: 100 FT
Front Facade Zone: 10' to 20' From Front Property Line; Applies to any portion of home facing a street.
Porch Setback: 5' Minimum
Side Setback: 5' Minimum adjacent an Interior Lot; Use Front Facade Zone for side facing street.
Rear Setback: 5' Minimum, Garages must be setback 5' or not less than 18'. Exception: Garage turned perpendicular to Service Lane, Side Entry, must be setback 2'. No Garage may face the street.
Maximum Height: 3 - Stories
Minimum Raised Foundation at Front Facade: 18"
Porch Depth: 6' Minimum.
Required Off-Street Parking: Off street parking and garage access shall be from service lane. Minimum 2 cars per unit.

40' Wide Single Family Detached Alley Accessed Lot

Building Typology 7



INTERIOR LOT

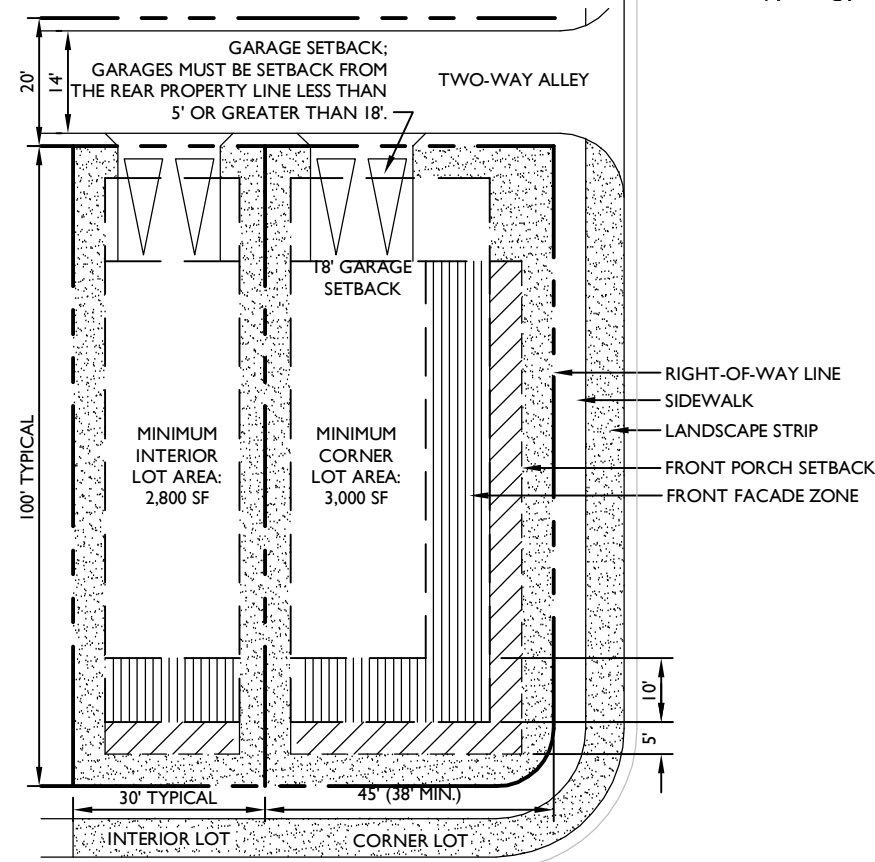
Minimum Lot Area: 3800 SF
Maximum Building Coverage: 75%
Minimum Lot Width at Front Setback: 40 FT
Minimum Lot Depth: 100 FT
Front Facade Zone: 10' to 20' From Front Property Line.
Porch Setback: 5' Minimum
Side Setback: 4' Minimum
Rear Setback: 5' Minimum, Garages must be setback 5' or not less than 18'. No Garage may face the street.
Maximum Height: 3 - Stories
Minimum Raised Foundation at Front Facade: 18"
Required Off-Street Parking: Off street parking and garage access shall be from service lane. Minimum 2 cars per unit.
Porch Depth: 6' Minimum.

CORNER LOT

Minimum Lot Area: 4000 SF
Maximum Building Coverage: 75%
Minimum Lot Width at Front Setback: 48 FT
Minimum Lot Depth: 100 FT
Front Facade Zone: 10' to 20' From Front Property Line; Applies to any portion of home facing a street.
Porch Setback: 5' Minimum
Side Setback: 4' Minimum adjacent an Interior Lot; Use Front Facade Zone for side facing street.
Rear Setback: 5' Minimum, Garages must be setback 5' or not less than 18'. Exception: Garage turned perpendicular to Service Lane, Side Entry, must be setback 2'. No Garage may face the street.
Maximum Height: 3 - Stories
Minimum Raised Foundation at Front Facade: 18"
Porch Depth: 6' Minimum.
Required Off-Street Parking: Off street parking and garage access shall be from service lane. Minimum 2 cars per unit.

30' Wide Single Family Detached Alley Accessed Lot

Building
Typology **8**



INTERIOR LOT

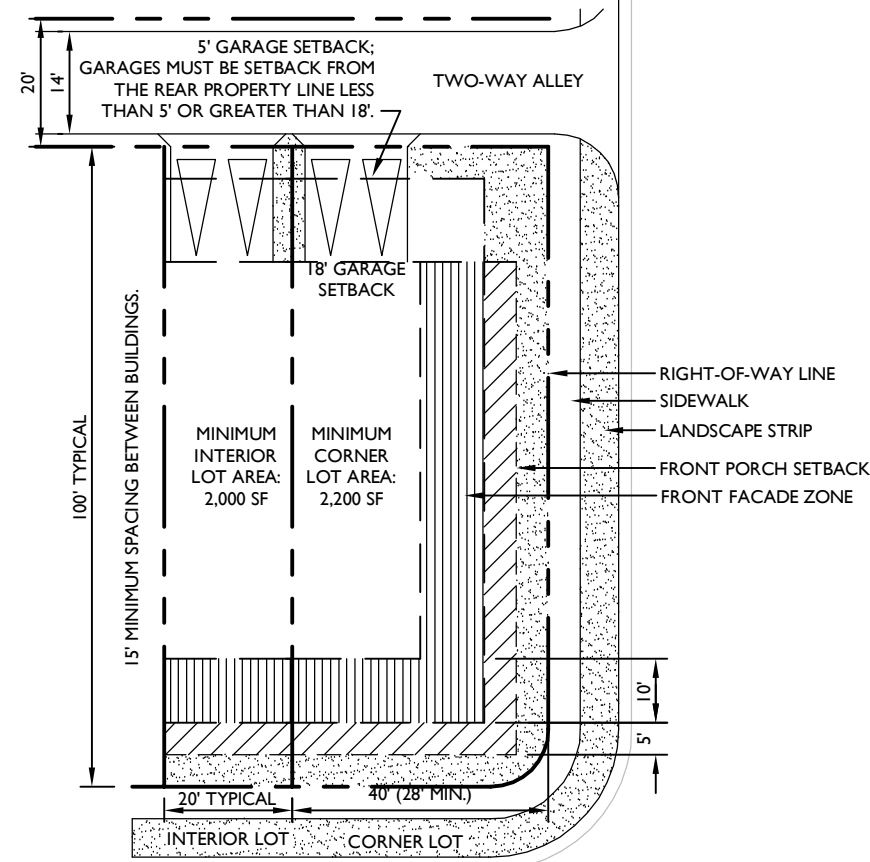
Minimum Lot Area: 2800 SF
Maximum Building Coverage: 75%
Minimum Lot Width at Front Setback: 30 FT
Minimum Lot Depth: 100 FT
Front Facade Zone: 10' - 20' From Front Property Line.
Porch Setback: 5' Minimum
Side Setback: 4' Minimum
Rear Setback: 5' Minimum, Garages must be setback 5' or not less than 18'. No garage may face the street.
Maximum Height: 3 - Stories
Minimum Raised Foundation at Front Facade: 18"
Required Off-Street Parking: Off street parking and garage access shall be from service lane. Minimum 2 cars per unit.
Porch Depth: 6' Minimum.

CORNER LOT

Minimum Lot Area: 3000 SF
Maximum Building Coverage: 75%
Minimum Lot Width at Front Setback: 38 FT
Minimum Lot Depth: 100 FT
Front Facade Zone: 10' - 20' From Front Property Line; Applies to any portion of home facing a street.
Porch Setback: 5' Minimum
Side Setback: 4' Minimum adjacent an Interior Lot; Use Front Facade Zone for side facing street.
Rear Setback: 5' Minimum, Garages must be setback less than 5' or greater than 18'. No Garage may face the street.
Maximum Height: 3 - Stories
Minimum Raised Foundation at Front Facade: 18"
Porch Depth: 6' Minimum.
Required Off-Street Parking: Off street parking and garage access shall be from service lane. Minimum 2 cars per unit.

Town Home Alley Accessed Lot

Building
Typology **9**



INTERIOR LOT

Minimum Lot Area: 2000 SF
Maximum Building Coverage: 95%
Minimum Lot Width at Front Setback: 20 FT
Minimum Lot Depth: 100 FT
Front Facade Zone: 10' - 20' From Front Property Line.
Porch Setback: 5' Minimum
Side Setback: 0', Minimum 15' between buildings. (7.5 side setback for End Units)
Rear Setback: 5' Minimum, Garages must be setback 5' or not less than 18'. No garage may face the street.
Maximum Height: 3 - Stories
Minimum Raised Foundation at Front Facade: 18"
Required Parking: Off street parking and garage access shall be from service lane. Minimum 1 car per bedroom for up to 2 bedrooms. .5 per bedroom for each additional bedroom.
Porch Depth: 6' Minimum.
Notes:
Maximum 10 units per building.
Minimum 15' between buildings

CORNER LOT

Minimum Lot Area: 2300 SF
Maximum Building Coverage: 95%
Minimum Lot Width at Front Setback: 28 FT
Minimum Lot Depth: 100 FT
Front Facade Zone: 10' to 20' From Front Property Line; Applies to any portion of home facing a street.
Porch Setback: 5' Minimum
Side Setback: 0' adjacent Interior Lot; Use Front Facade Zone for side facing street.
Rear Setback: 5' Minimum, Garages must be setback less than 5' or greater than 18'. No Garage may face the street.
Maximum Height: 3 - Stories
Minimum Raised Foundation at Front Facade: 18"
Porch Depth: 6' Minimum.
Required Parking: Off street parking and garage access shall be from service lane. Minimum 1 car per bedroom for up to 2 bedrooms. .5 per bedroom for each additional bedroom.

Multi-family Buildings Facilities

Building
Typology **10**

Development Standards

Minimum Lot Area: None

Maximum FAR: None

Maximum ISR: None

Front Setback: 20' to edge of pavement, either roadway or parking lot.

Porch Setback: 15' to edge of pavement, either roadway or parking lot.

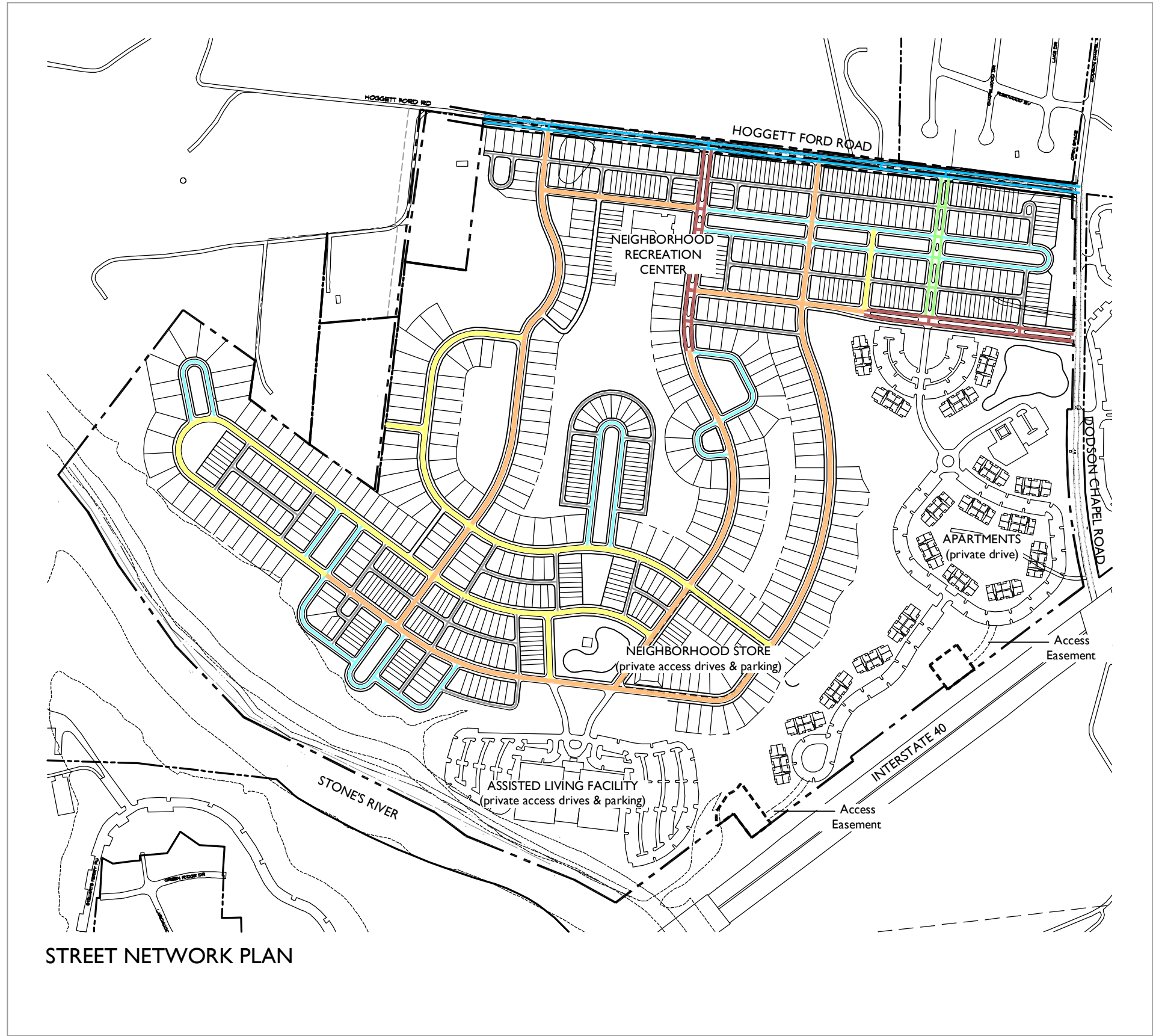
Side Setback: 10', Minimum 20' between buildings.

Rear Setback: 20' Minimum

Maximum Height: 4 - stories maximum.

Required Off-Street Parking:

Multi-Family: Minimum 1 car per bedroom for up to 2 bedrooms. .5 per bedroom for each additional bedroom.



STREET NETWORK PLAN

Hoggett Ford Boulevard Divided Street (69' ROW)

Main Entry - Residential Divided Local Street (70' ROW)

Residential Divided Minor Local Street (72' ROW)

Local Street (51' ROW)

Minor Local Street (49' ROW)

One-Way Street (40' ROW)

Residential Alley (20' ROW)

GENERAL NOTES:

1. ALL STREETS AND ALLEYS WILL BE DEEDED TO THE CITY AS PUBLIC RIGHTS-OF-WAY, AND THUS WILL BE MAINTAINED BY METRO NASHVILLE/ DAVIDSON COUNTY. ALL PRIVATE DRIVES WILL BE MAINTAINED BY THE PROPERTY OWNERS OR PRIVATE ORGANIZATION(S).

2. EACH STREET TYPE IS DESIGNED FOR A SPECIFIC CONDITION BASED ON TRAFFIC VOLUMES, FREQUENCY OF TRIPS, DESIRED PARKING CONDITIONS, TRAFFIC CALMING, RELATIONSHIP TO HOUSING TYPE AND, ACCESS FOR EMERGENCY VEHICLES. THE STREET NETWORK PLAN ILLUSTRATES THE DESIGN. THE PLAN SHALL BE FLEXIBLE TO RESPOND TO PHYSICAL SITE CONDITIONS, ADJUSTMENTS IN MARKET CONDITIONS, ENGINEERING STANDARDS AND COMMUNITY DESIRES. THE UDO SHALL ALLOW FOR VARIATIONS IN THE DESIGN OF THE STREET NETWORK, STREET SECTIONS AND BLOCK LAYOUT SO LONG AS IT MEETS THE INTENT OF THE REGULATIONS AND GUIDELINES WITHIN.

3. FINAL DEVELOPMENT CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY METRO PUBLIC WORKS PRIOR TO ANY CONSTRUCTION.

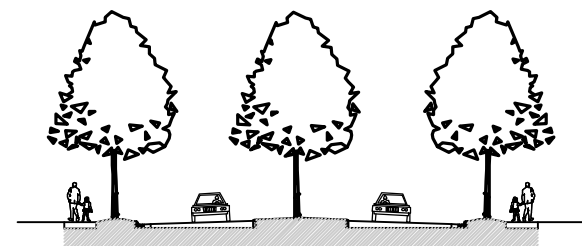
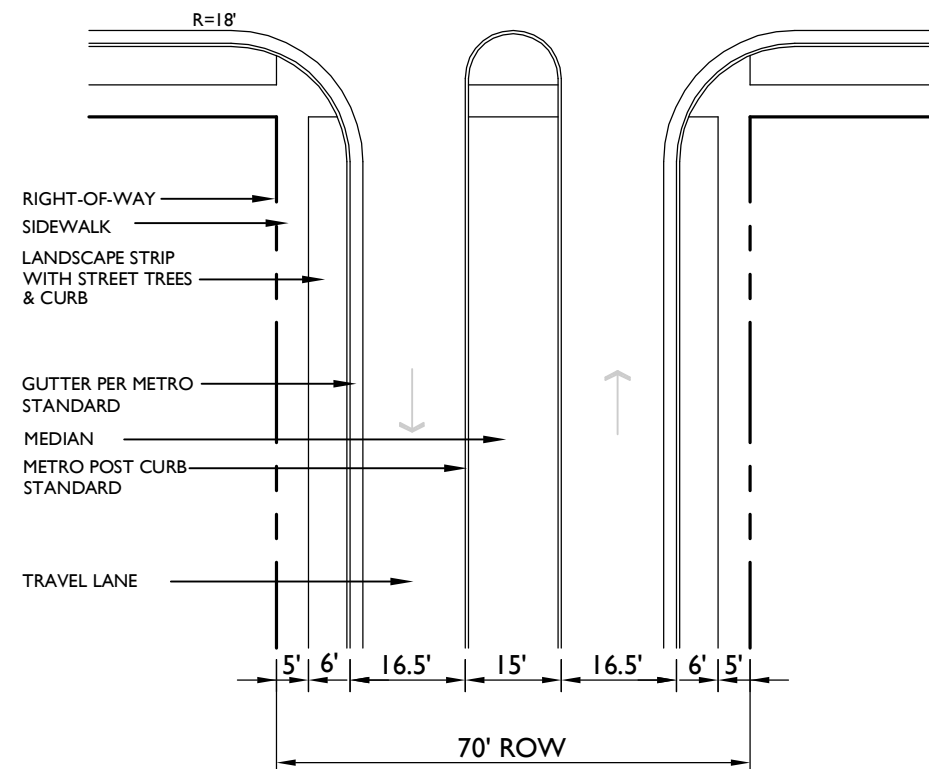
4. SITE TRIANGLE AT INTERSECTIONS WITHIN THE U.D.O. SHALL CONFORM TO A.A.S.H.T.O. STANDARDS AS SHOWN IN EXHIBIT 9-55.

GOALS AND OBJECTIVES:

1. THE NETWORK OF INTERCONNECTED STREETS IS DESIGNED TO DISPERSE TRAFFIC AND PROVIDE MULTIPLE ENTRANCES AND ACCESS POINTS FOR RESIDENTS AND EMERGENCY VEHICLES.

2. STREETS SHOULD ACCOMMODATE ON-STREET PARKING WHERE POSSIBLE TO PROVIDE GUEST PARKING WITHIN THE COMMUNITY.

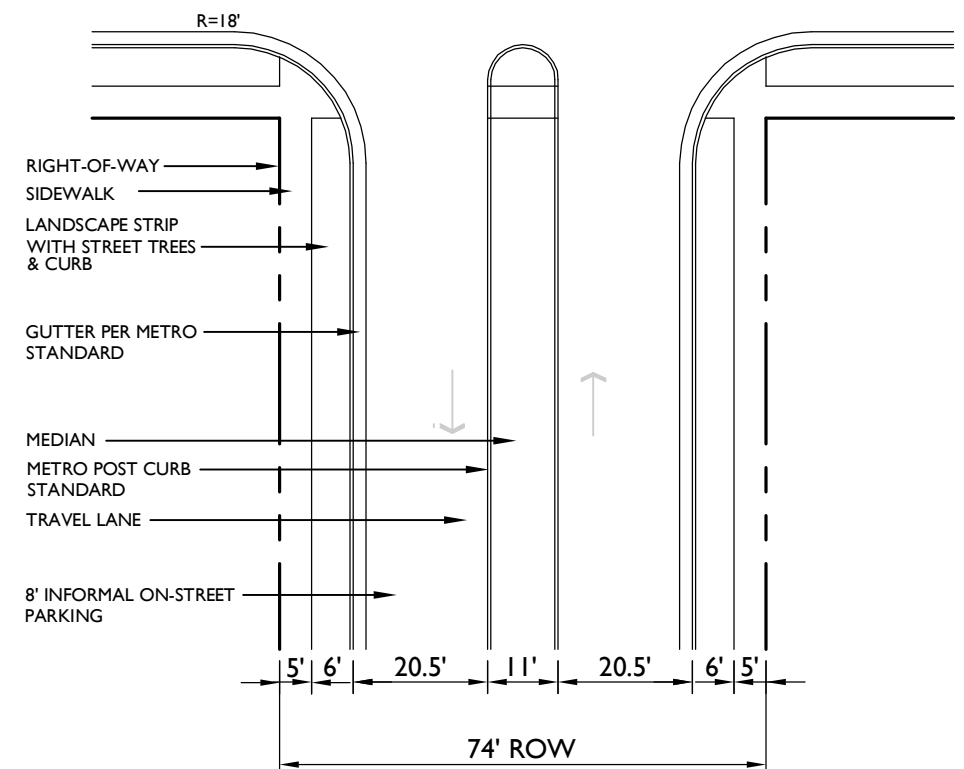
3. STREETS SHOULD BE DESIGNED WITH RESPECT TO THE EXISTING TERRAIN AND WITH CONSIDERATION OF THE EXISTING DRAINAGE PATTERNS OF THE SITE. TREES SHOULD BE SAVED WHERE POSSIBLE.



Design Speed	30 MPH
Minimum Curb Radius	To be Established with the Construction Plans
Drainage	Curb & Gutter
Parking	None
Sidewalk	Both Sides

Main Entry

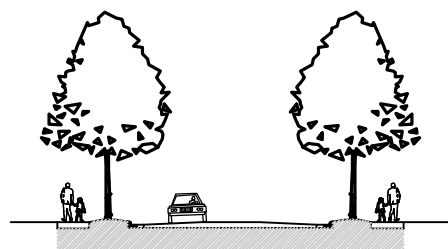
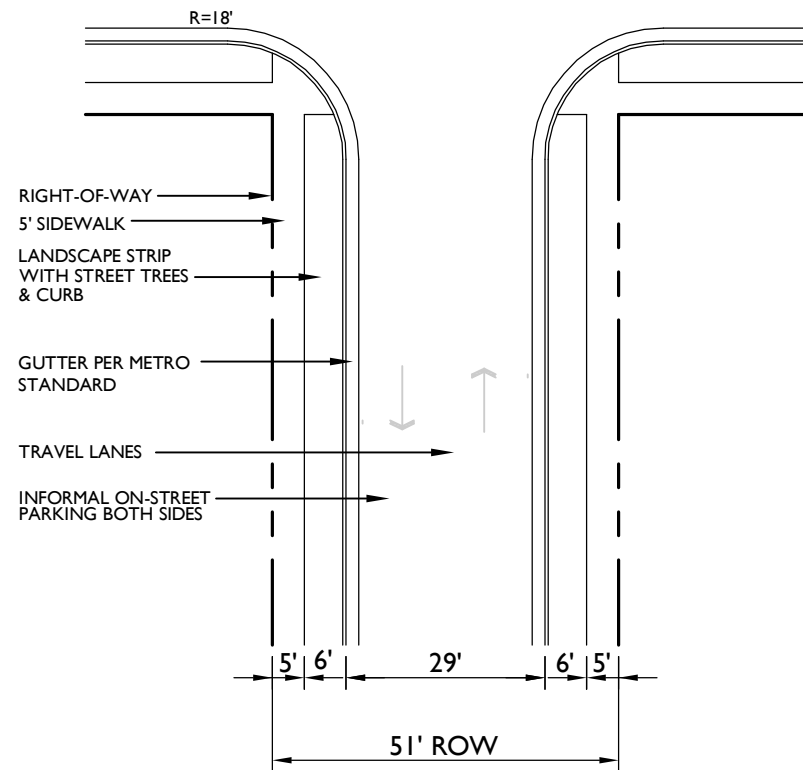
RESIDENTIAL DIVIDED LOCAL STREET - (70' ROW)



Design Speed	30 MPH
Minimum Curb Radius	To be Established with the Construction Plans
Drainage	Curb & Gutter
Parking	Informal, Both Sides of Median
Sidewalk	Both Sides

Residential Divided

Divided Minor Local Street - (72' ROW)

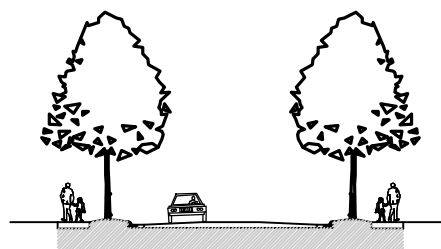
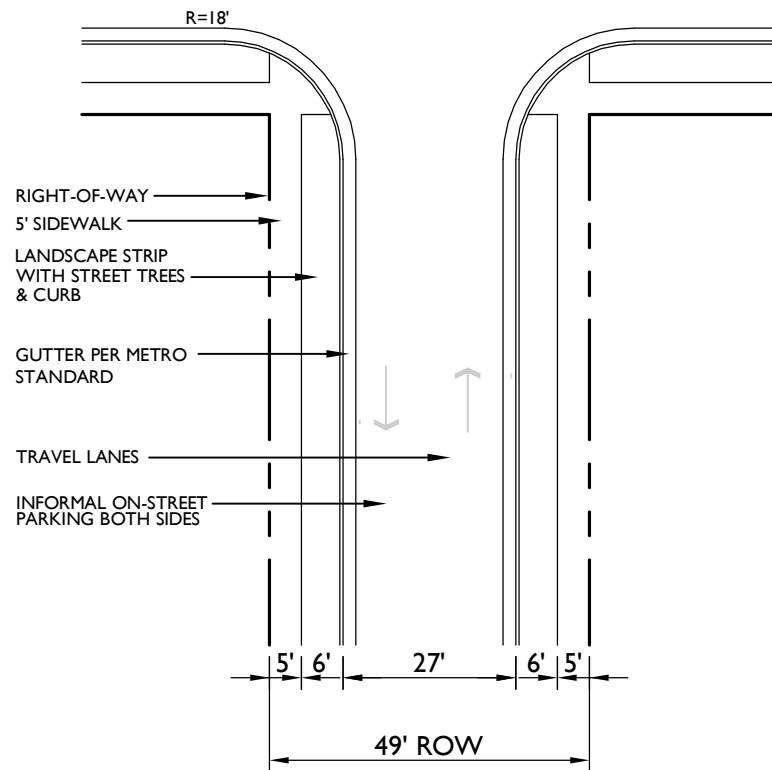


Design Speed
Minimum Curb Radius
Drainage
Parking
Sidewalk

30 MPH
To be Established with the Construction Plans
Curb & Gutter
Informal, Both Sides
Both Sides

Local Street

Local Street - (51' ROW)

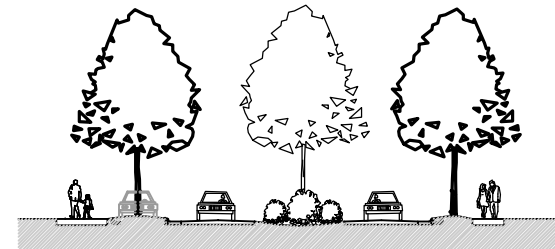
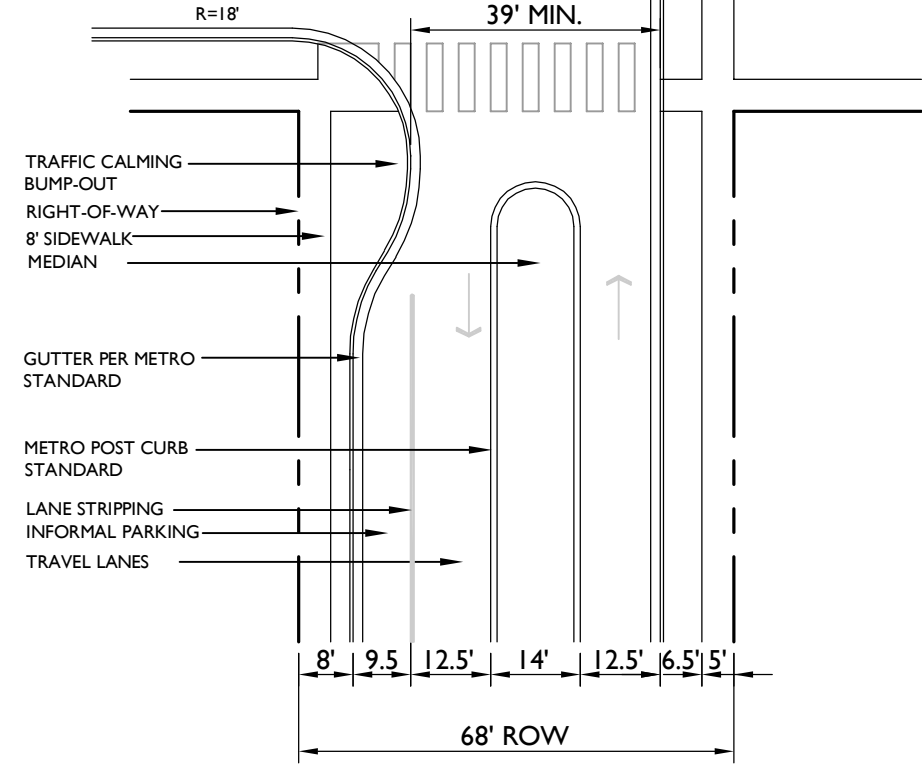


Design Speed
Minimum Curb Radius
Drainage
Parking
Sidewalk

30 MPH
To be Established with the Construction Plans
Curb & Gutter
Informal, Both Sides
Both Sides

Minor Local Street

Minor Local Street - (49' ROW)

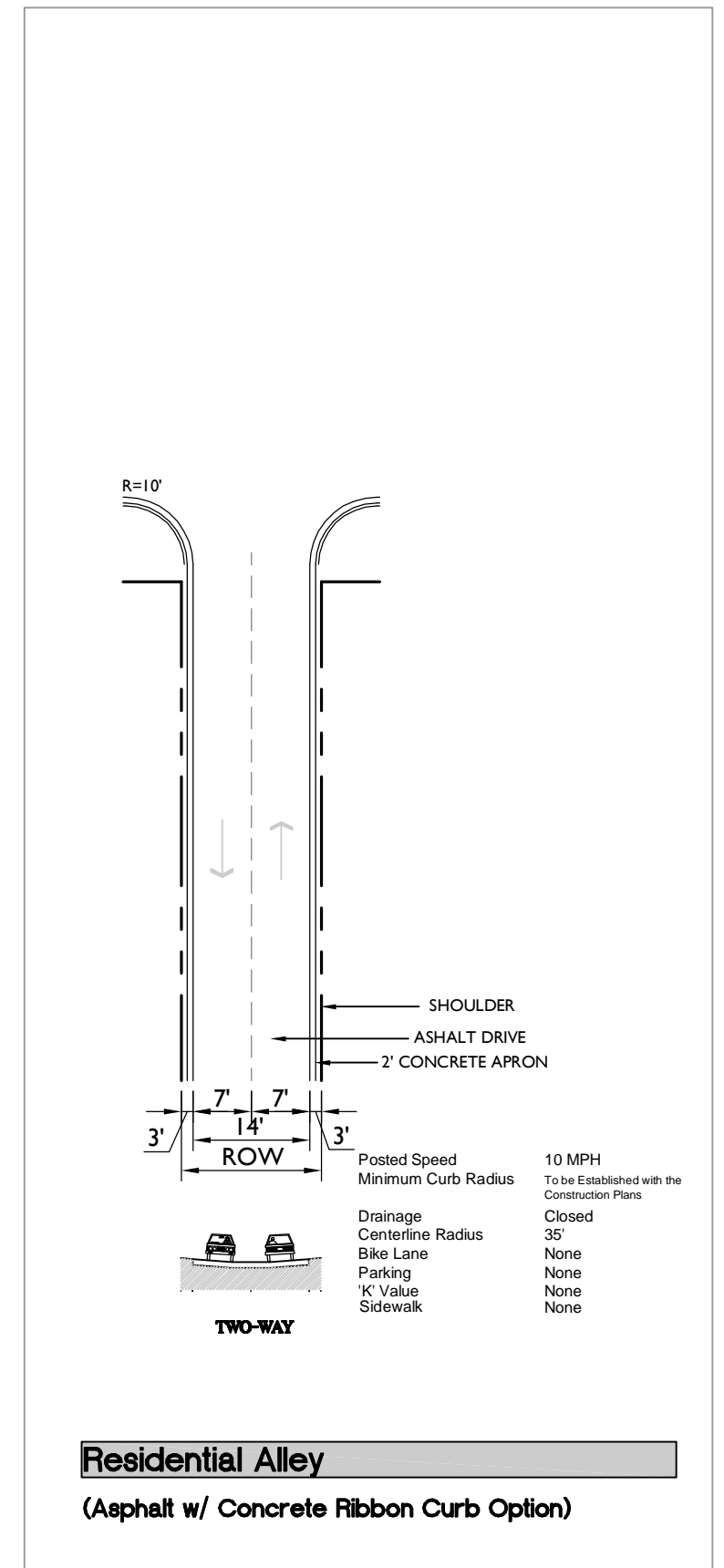
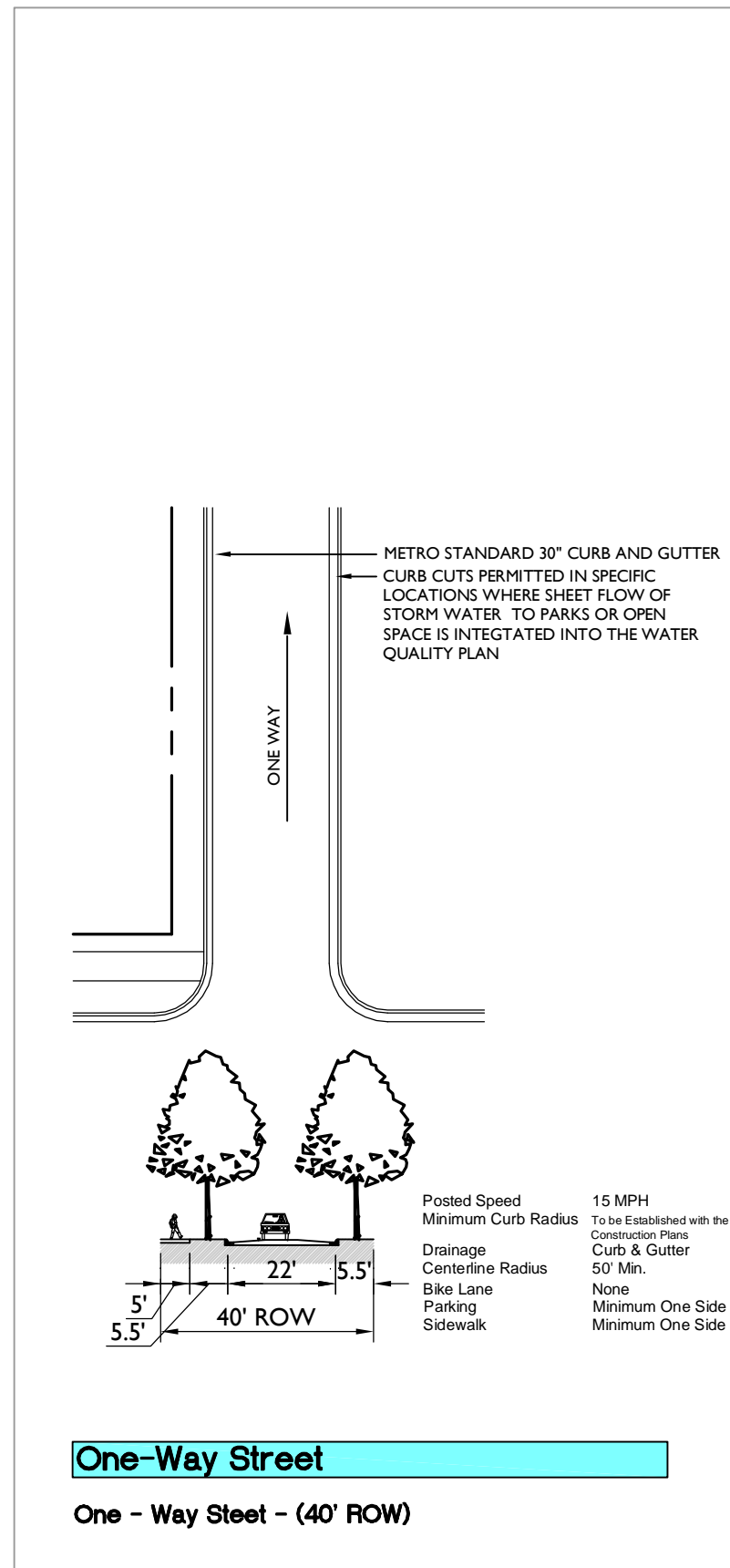
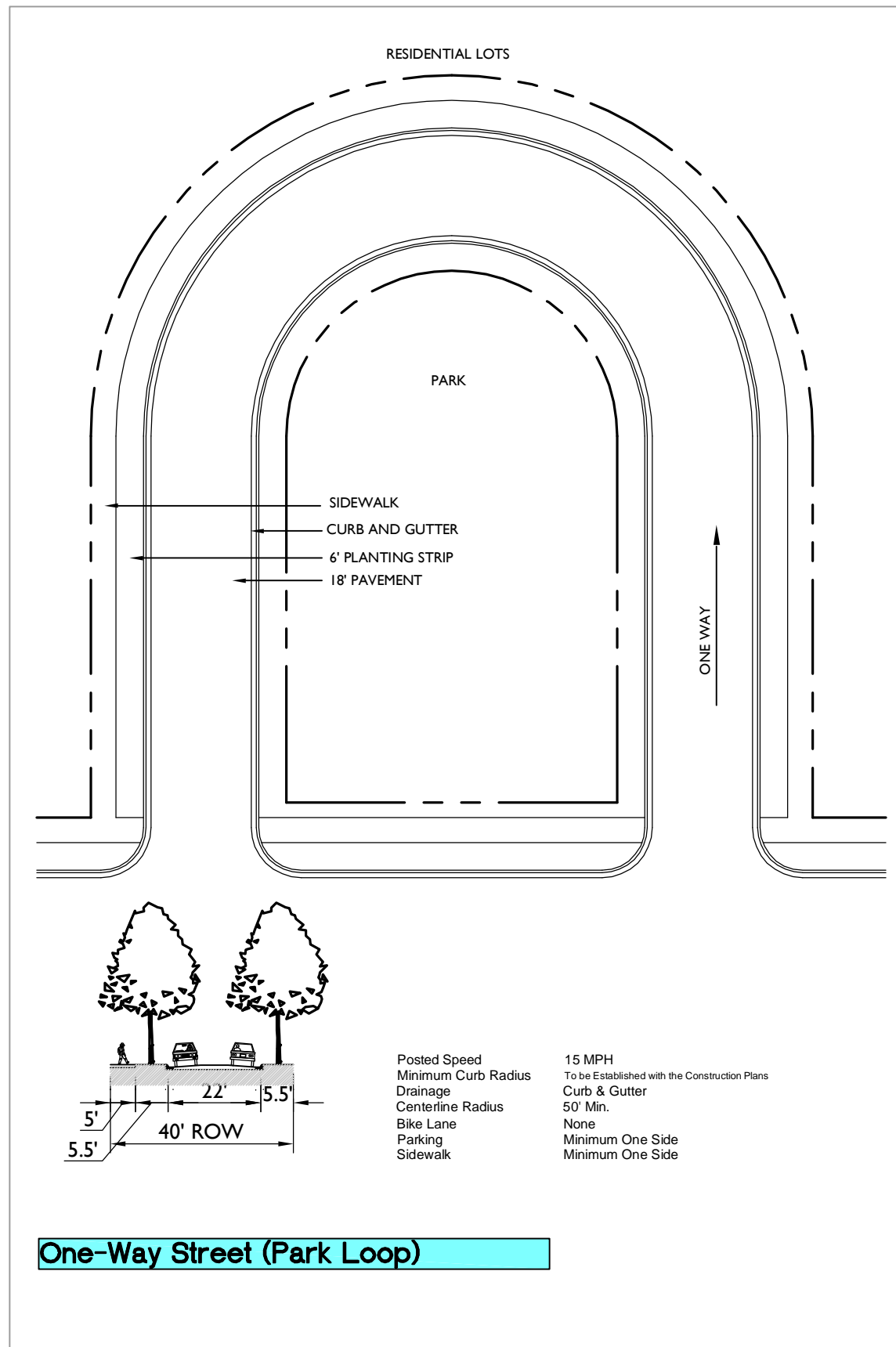


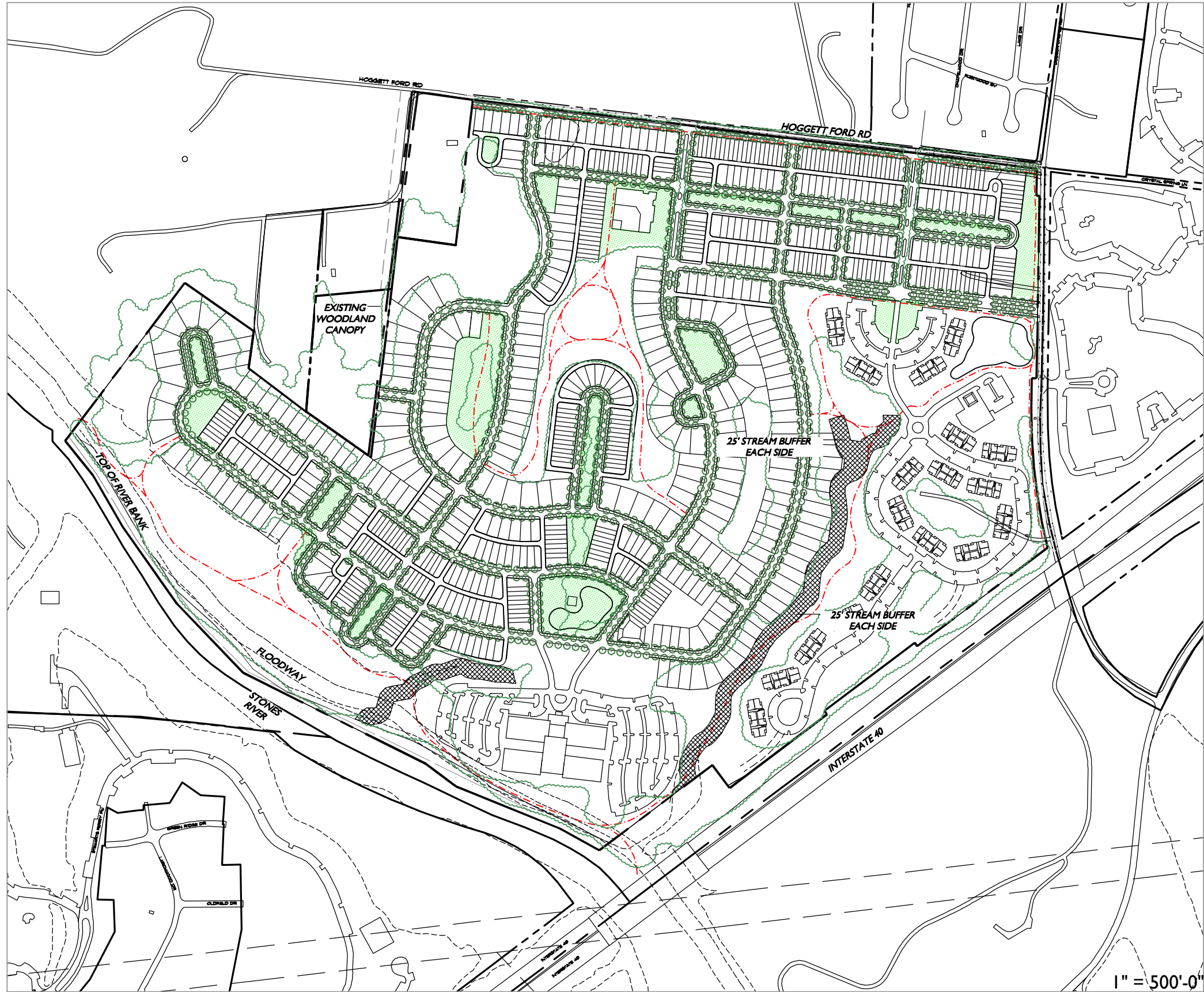
Design Speed
Minimum Curb Radius
Drainage
Parking
Sidewalk

30 MPH
To be Established with the Construction Plans
Curb & Gutter
Parallel One Side
Both Sides

Hoggett Ford Boulevard

Divided Street - (69' ROW)





LEGEND

- EXISTING TREES TO REMAIN
- PROPOSED STREET TREES

GOALS AND OBJECTIVES:

- 1. THE EXISTING VEGETATION AND TREE CANOPY WILL BE PRESERVED AS SHOWN. THE EXACT LOCATIONS ARE PRELIMINARY AS SHOWN ON THE PLAN AND ARE SUBJECT TO CHANGE WITH THE FINAL DESIGN.
- 2. ALL STREET TREES WILL BE LOCATED A MINIMUM OF 40' O.C. THE EXACT LOCATIONS AS SHOWN ON THE PLAN ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE FINAL DESIGN. POTENTIAL CONFLICTS WITH UNDERGROUND UTILITIES WILL BE AVOIDED. STREET TREES MAY NOT BE REQUIRED IN PROXIMITY TO INSTALLED UNDERGROUND UTILITIES.
- 3. WITHIN THE UDO NO ADDITIONAL BUFFERS ARE REQUIRED BETWEEN USES.
- 4. REAR YARDS ADJACENT THE UDO BOUNDARY SHALL CONSIST OF PRESERVED EXISTING TREES AND VEGETATION WHEREVER POSSIBLE.
- 5. EXISTING TREES ARE TO BE PRESERVED WITHIN ROADWAY MEDIANS WHERE POSSIBLE. EXISTING TREES ARE INTENDED TO BE PRESERVED WITHIN THE HOGGETT FORD ROAD MEDIAN TO SERVE AS A BUFFER BETWEEN ADJACENT PROPERTIES.

GREENWAY TRAIL CONNECTIONS

- 1. ALL TRAIL LOCATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE WITH THE FINAL DESIGN. FINAL LOCATIONS OF TRAILS WILL BE COORDINATED BY THE OWNER.
- 2. THE OWNER WILL DEDICATE EASEMENTS AS SPECIFIED ON THE PLAN FOR THE GREENWAY TRAIL CONNECTIONS. (TRAILS NOTED ARE AS FOLLOWS: 1. 12' EASEMENT ALONG THE STONE'S RIVER, 2. 10' EASEMENT ALONG DODSON CHAPEL 3. 8' EASEMENT ALONG HOGGETT FORD ROAD.

- GREENWAY TRAIL