

MPC draft  
for public comment  
December 16, 2020

# WEDGEWOOD-HOUSTON CHESTNUT HILL

## Urban Design Overlay

An implementation tool resulting from  
the 2019 *Wedgewood-Houston  
Chestnut Hill Planning Study*





**CHESTNUT HILL**

**WEDGEWOOD -HOUSTON**

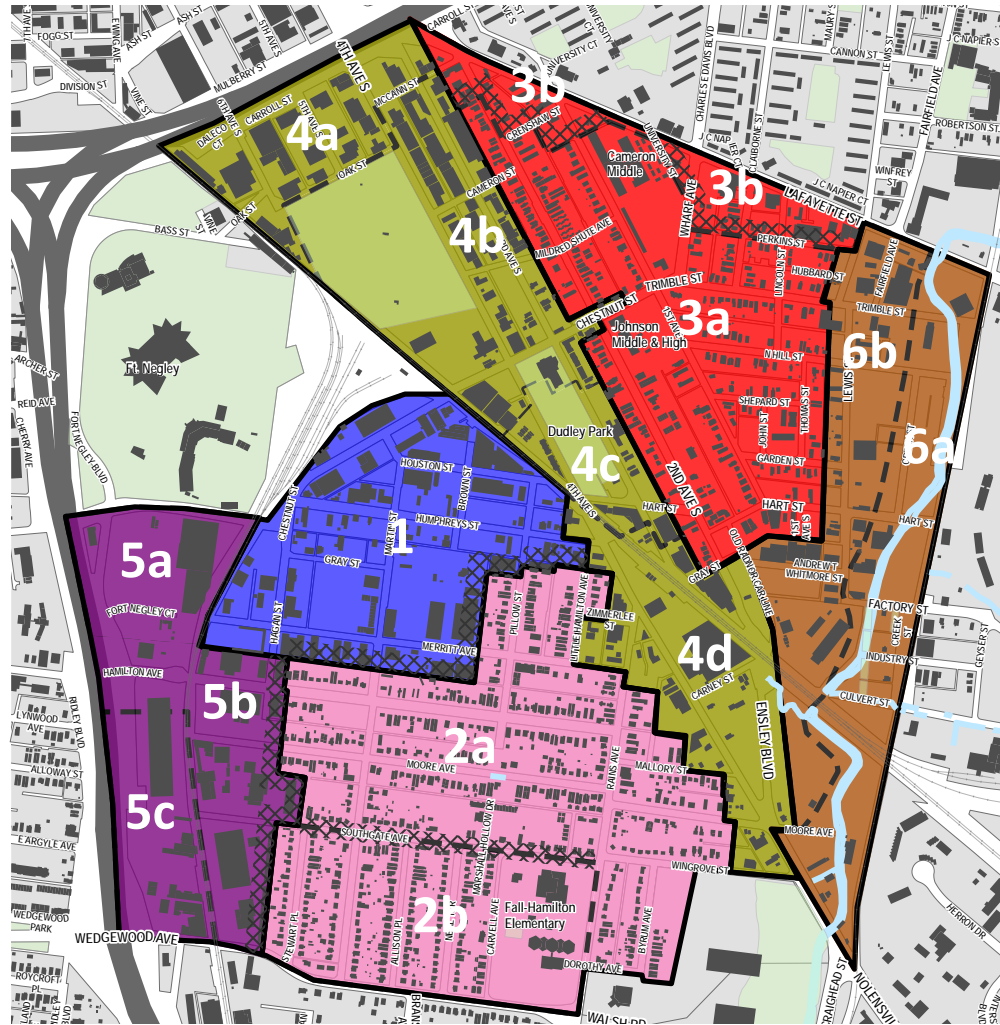
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The 2019 Wedgwood-Houston Chestnut Hill Planning Study recommended the development of a contextual infill UDO for character areas 2 and 3a of its plan. The character areas have been slightly rearranged into three neighborhoods, one neighborhood center, and one corridor for the purpose of the UDO.

### The Wedgwood Houston Chestnut Hill Planning Study (2019)

In 2019, the Wedgwood Houston Chestnut Hill (WHCH) Planning Study was adopted by the Planning Commission. The study was developed through a participatory process that involved the collaboration of planning staff with community stakeholders to establish a clear vision and provide detailed information and solutions to guide the future physical and regulatory characteristics of these two neighborhoods.

The study established six character areas - geographic sectors with common attributes and identities - to guide redevelopment. During the planning process, it became clear that more detailed guidelines for redevelopment in Character Areas 2 and 3 (the primarily residential portions of the study area) were necessary. Therefore, a key recommendation from the study was to establish a

contextual residential infill Urban Design Overlay (UDO). The need for a UDO is rooted in two core concerns within the community:

**1) affordability and displacement:** The rising cost of housing in these neighborhoods is displacing lower and moderate-income residents, negatively affecting diversity, and uprooting long-time neighbors.

**2) community character:** New development is out of character with the existing built environment. Recent residential infill has often been of a greater height and density than that of the surrounding neighborhood and in a different built form to that of the existing homes. This trend is erasing the unique character and sense of place of the neighborhoods.

### Intent

The purpose of the Wedgwood-Houston Chestnut Hill UDO is to preserve the essential, defining qualities of the Wedgwood-Houston and Chestnut Hill neighborhoods while addressing increasing demand for residential capacity in the area.

The UDO outlines a carefully calibrated approach to neighborhood development, focused on contextual growth over time. In addition, it prioritizes flexibility and diversity in housing by incentivizing small multi-unit developments in specific places compatible with the existing urban fabric.

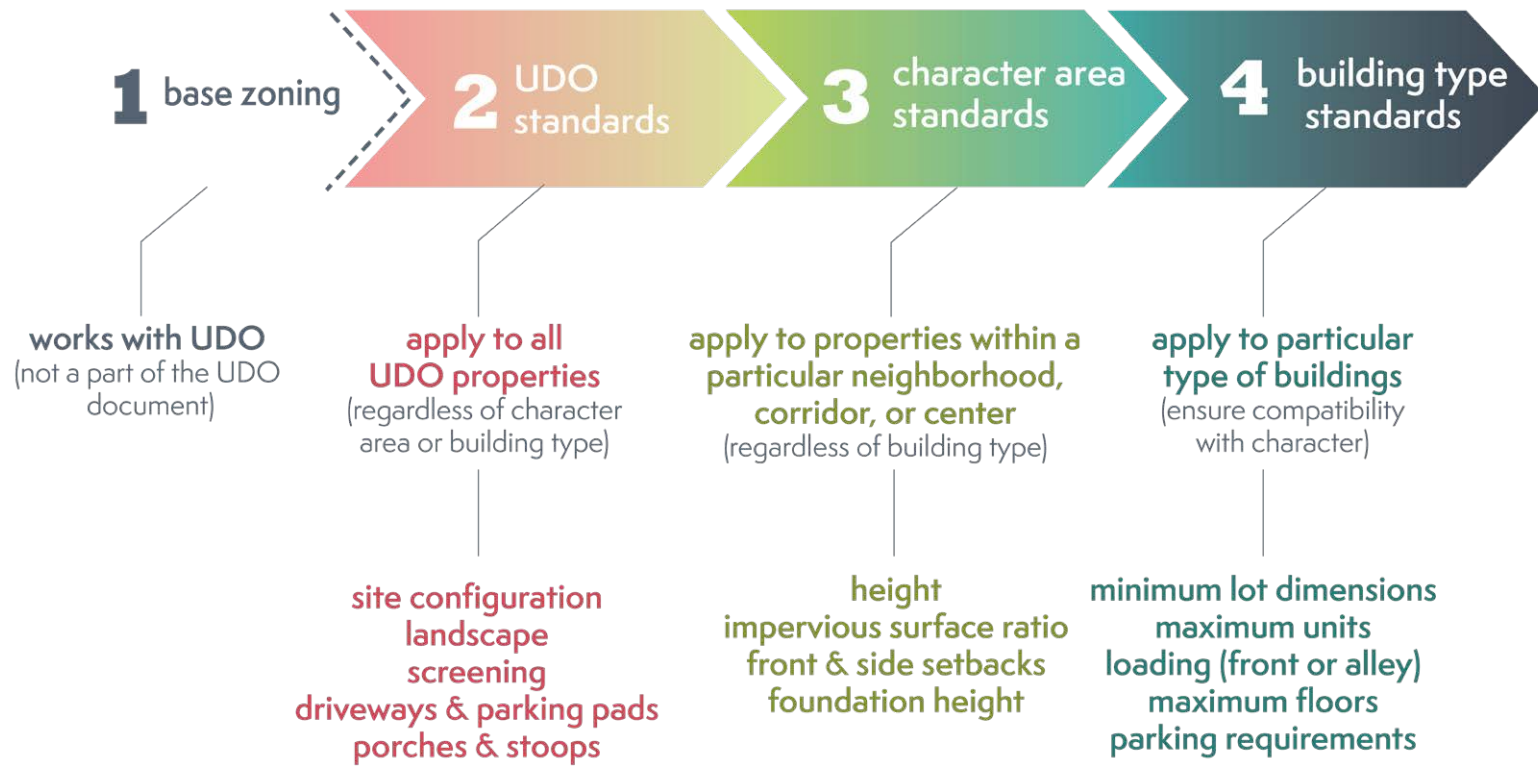


Recent residential development trends focus on maximizing entitlements, resulting in a built form incompatible with the characteristic scale of the neighborhood. These large, single-family homes exacerbate the systemic housing issues - such as lack of diverse and affordable housing options - that plague Nashville's urban neighborhoods.

### Goals

- » Provide a framework for a contextual urban neighborhood change in Nashville that prioritizes housing affordability & diversity & sustainable growth.
- » Guide flexibility in housing in Chestnut Hill and Merritt-Southgate to address housing demand and affordability.
- » Preserve the small scale, single family character of the Fall-Hamilton neighborhood (Southgate to Wedgewood Ave) while allowing for some compatible infill.
- » Encourage 2nd Ave South
- » Chestnut St to develop as urban neighborhood corridors that support the surrounding area with walkable, daily uses.

## how to use this document



1. Find relevant zoning by address, parcel #, or owner on Metro's Parcel Viewer: <https://maps.nashville.gov/ParcelViewer/>
2. Refer to the UDO standards in this document (p.8-11). All parcels within the UDO boundary are subject to these general standards.
3. Find the applicable character area standards (p.12-13). Utilize the UDO framework map on p. 6 to determine the appropriate character area. Every parcel within the UDO will fit into one of the five character areas.
4. Ensure the proposed design & use fit the site. Refer to the building type standards (p.14-15). Some building types will not be appropriate or well-suited for every location.

### Discrepancies between Character Area Standards & Building Type Standards

Height and setback are standards that reside within the Character Area **and** Building Type sections of the UDO. In some instances these standards might conflict.

In the case of a discrepancy of a standard residing in multiple sections of this document, **the more conservative, or limiting, standard shall be used.**

That is, if there is a discrepancy between the Character Area & Building Type standards on setback, **the greater resulting setback** of the two shall be used. If there is a discrepancy between the two sections for measuring height, **the shorter resulting height** shall be used.

## part 2: application & compliance

### COMPLIANCE PROVISIONS

1. Full compliance with the standards of the UDO shall be required when any property within the UDO boundary is redeveloped or vacant property is developed.
2. When a building's occupiable square footage is being expanded, the expansion shall be in compliance with all applicable UDO development standards.
3. When a new structure is built on a lot with multiple structures, the new structure shall be in compliance with the UDO's development standards.

### OVERLAPPING CODE & PLANS

Base zoning district standards, including those within the Urban Zoning Overlay (UZO), that are not varied by the provisions set forth in the Wedgewood-Houston Chestnut Hill Urban Design Overlay shall apply as appropriate to all property within the UDO boundary.

If a property is zoned Specific Plan (SP) or Planned Unit Development (PUD) then all standards contained within the SP or PUD shall apply. The UDO standards shall apply for any standards not addressed in the SP or PUD.

### PROCESS

Prior to applying for a building permit, applicants shall apply for a UDO "Final Site Plan" application with the Planning Department. The "Final Site Plan" shall be reviewed and approved by all departments prior to the issuance of the building permit.

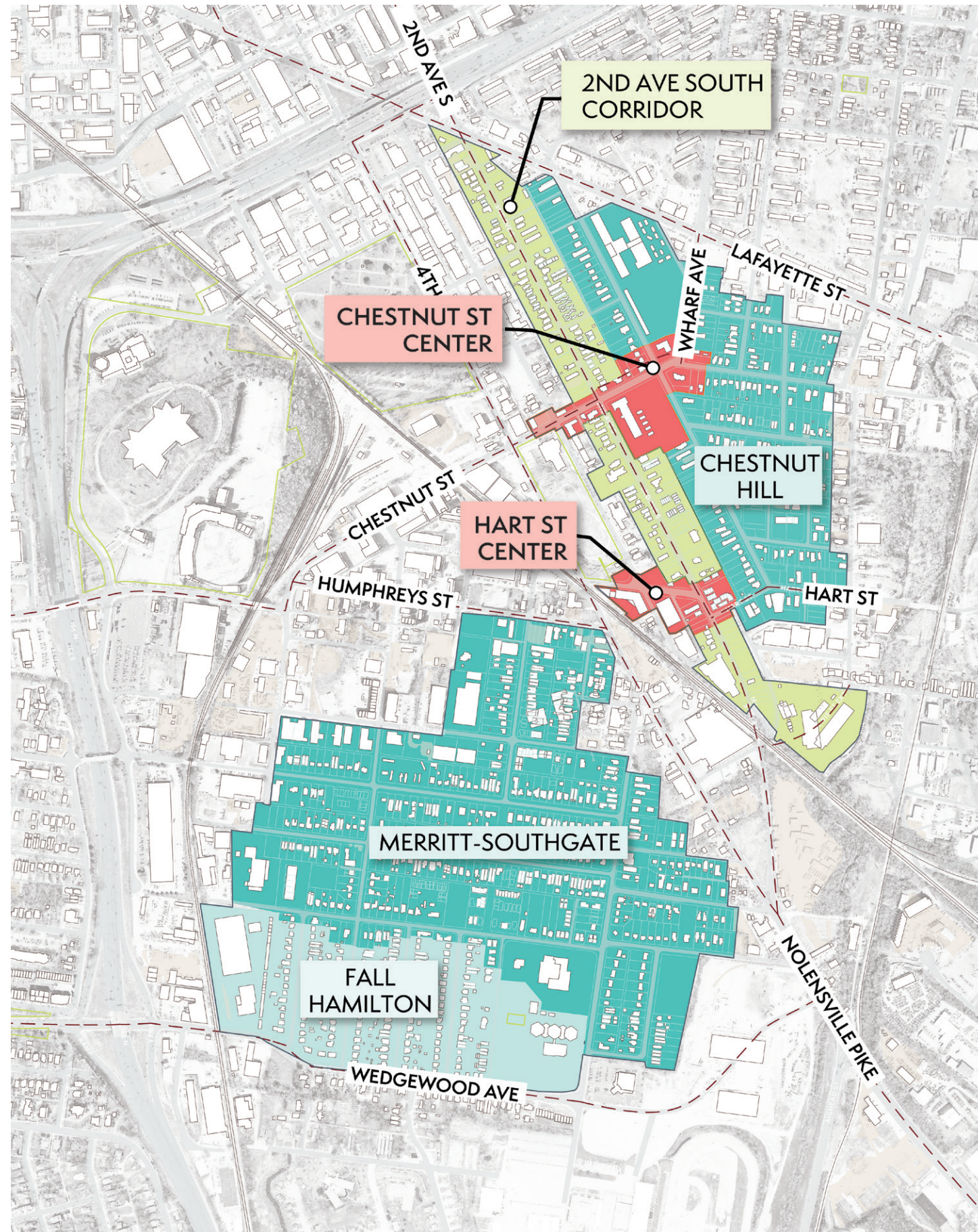
Applicants are encouraged to contact Metro planning staff early in the design process for a pre-application meeting. Where physical constraints exist on a site within the UDO, the planning staff may review alternate design solutions that achieve the intent of the UDO.

Existing nonconforming structures can be modified or remodeled as long as the new construction does not allow the structure to become more noncompliant with the UDO standards contained herein.

Following the approval of the Final Site Plan, a Final Plat may be required to establish lots, rights-of-way and easements.



## UDO framework map



## MODIFICATIONS

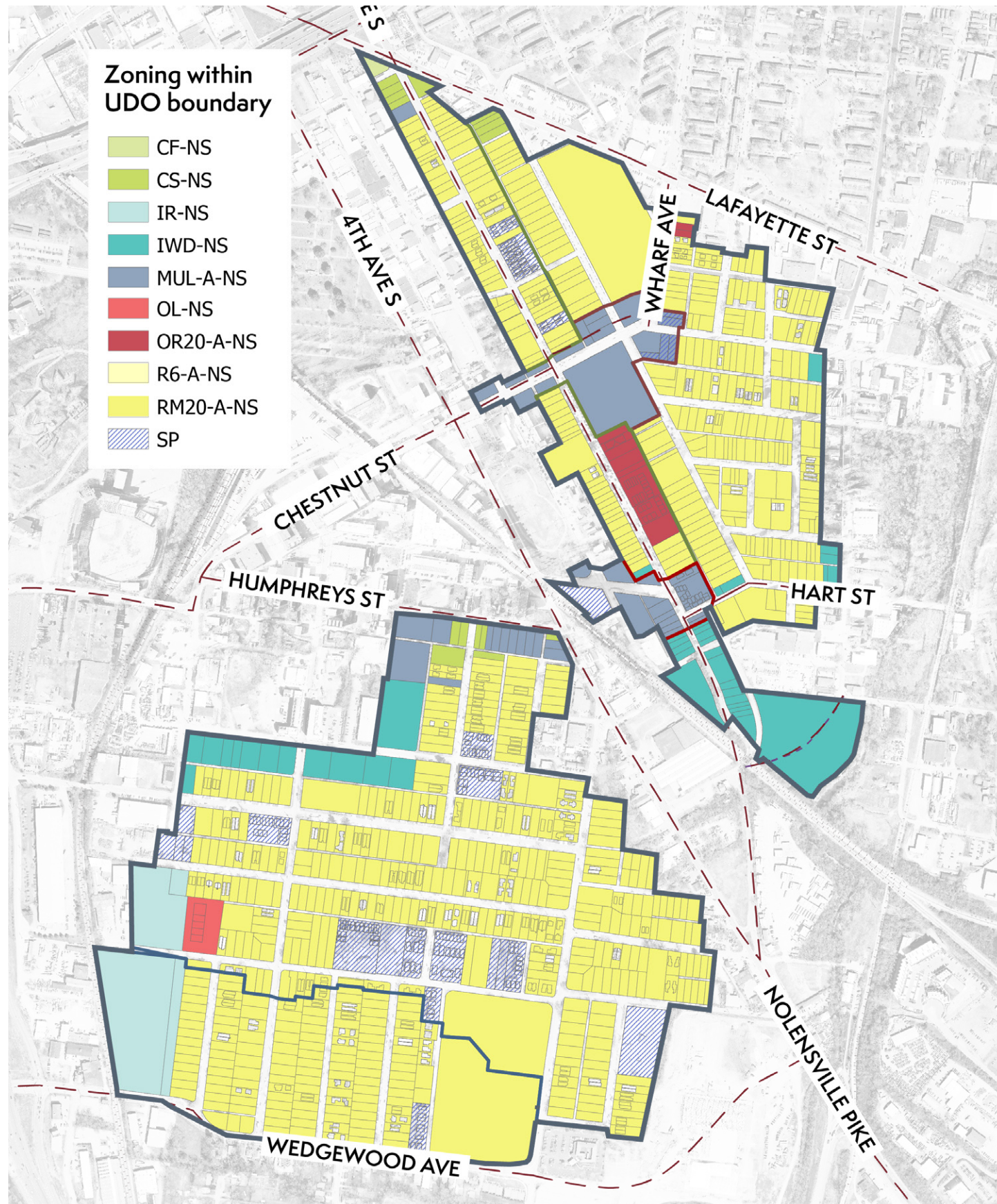
Based on site-specific issues, modifications to the standards of the UDO may be necessary. Any standard within the UDO may be modified, insofar as the intent of the standard is being met; the modification results in better urban design for the neighborhood as a whole; and the modification does not impede or burden existing or future development of adjacent properties.

Planning Commission or Planning Department staff may approve modifications as follows:

- » The Planning Department staff may approve minor modifications, those containing deviations of 20 percent or less.
- » Major modifications, deviations of more than 20 percent, will be considered by the Planning Commission.

The UDO framework map establishes the geographic boundaries of the five unique character areas comprising the WHCH UDO - The neighborhoods of Fall-Hamilton, Merritt-Southgate, & Chestnut Hill; the Chestnut St & Hart St centers; & the 2nd Ave South corridor. Each property within the UDO fits into one of these character areas.





Zoning reflects the intent of the UDO. Neighborhoods are composed of multi-family residential properties with mixed-use neighborhood centers at Chestnut St and Hart St in Chestnut Hill.

### part 3: UDO standards

UDO standards are applicable to all properties within the WHCH UDO boundary, regardless of character area or building type. They shall be used in conjunction with the guidelines outlined in *part 4: character area standards* and *part 5: building type standards*.

SITE CONFIGURATION	
<b>lot dimensions</b>	A lot, once aggregated, shall be no more than 120 ft wide.
<b>frontage</b>	<ul style="list-style-type: none"> <li>» Primary structures shall front onto a public street (excludes alleys)</li> <li>» When a property fronts more than one street, such as corner lots, primary structures should prioritize fronting MCSP designated streets over local streets.</li> </ul>
ACCESS AND PARKING	
<b>pedestrian access</b>	Pedestrian access shall be provided from any primary entrance to the primary street frontage.
<b>visitability</b>	<p>Properties with four or more units must have at least one unit that is visitable. A unit is visitable when it meets the following requirements:</p> <ul style="list-style-type: none"> <li>» one zero step (ADA accessible) entrance</li> <li>» one door with 32" minimum clear passage space</li> <li>» one wheelchair accessible bathroom on the main floor</li> </ul>
<b>vehicular access</b>	<ul style="list-style-type: none"> <li>» Vehicular access is relegated to alleys for all properties adjacent to alleys</li> <li>» For properties without alley access, driveways are limited to one per lot per public street frontage.</li> </ul>
<b>driveways &amp; parking</b>	<ul style="list-style-type: none"> <li>» Driveways and parking pads shall be contained within the side or rear setback.</li> <li>» Driveways loading from the primary street shall be no more than 12 ft wide.</li> <li>» No parking pads, pervious or impervious, are permitted in the established front setback in front of the structure.</li> <li>» Parking areas that accommodate 4 or more vehicles shall be separated from building facades a minimum of 8 feet.</li> </ul>
<b>bicycle parking</b>	<ul style="list-style-type: none"> <li>» Multi-family residential development shall provide covered bicycle parking at a minimum of 2 spaces or 1 space per unit, whichever is greater.</li> <li>» Non-residential development shall provide publicly visible and accessible bicycle parking per Metro code.</li> </ul>





## LANDSCAPE

<b>design standards</b>	<ul style="list-style-type: none"> <li>» Tree and shrub species shall be chosen from the Urban Forestry Recommended and Prohibited Tree and Shrub List.</li> <li>» Low Impact Development strategies shall be used for hardscaped areas, to maximize on-site infiltration of stormwater per <i>Metro Low Impact Development Manual</i>.</li> </ul>
<b>street trees</b>	<ul style="list-style-type: none"> <li>» When sidewalks are required as part of right-of-way improvements, street trees shall be planted within the furnishing zone of the sidewalk. These trees will count towards a project's TDU requirements.</li> <li>» When overhead utilities are present, understory trees shall be planted, spaced every 20 ft.</li> <li>» When overhead utilities are not present, canopy trees shall be planted, spaced every 30 ft.</li> </ul>
<b>screening</b>	Service and utility elements including, but not limited to, waste, recycling, loading, and maintenance facilities, as well as HVAC, meters, transformers, panels, and other mechanical equipment, shall be located out of view and/or screened from public streets
<b>bioretention</b>	<ul style="list-style-type: none"> <li>» Planted bioretention facilities (raingardens, bioswales, etc) shall not be located in the frontage zone or front yard.</li> <li>» Planted bioretention facilities may be planted in the furnishing zone within the right-of-way at the discretion of Public Works and the Urban Forester.</li> </ul>

## ALL STRUCTURES

<b>height</b>	<ul style="list-style-type: none"> <li>» Height shall be measured from the average natural grade at the front property line to the roof ridge or parapet. (Refer to p.17)</li> <li>» Basements are not considered stories for the purpose of determining building height in stories.</li> </ul>
<b>mezzanines</b>	» A mezzanine, regardless of the percentage of floor area it encompasses, shall be considered a full story.
<b>materials</b>	<ul style="list-style-type: none"> <li>» On all public streets, structure must be built or clad with a durable and high finish material that does not terminate at the building corner. Material must wrap around the building corner a minimum of 10 feet.</li> <li>» EIFS cladding systems are not permitted within the UDO.</li> </ul>
<b>horizontal to vertical ratio</b>	No structure shall exceed a vertical to horizontal ratio of 1.5 to 1.
<b>porches</b>	Front porches shall be no less than 6 ft deep and 7 ft wide.
<b>shutters</b>	Shutters shall be sized appropriately; that is, the width of a single shutter shall equal 1/2 the width of the corresponding window.
<b>fences &amp; walls</b>	<ul style="list-style-type: none"> <li>» Fences and walls shall be constructed of durable, high quality materials such as wood, stone, masonry, or metal.</li> <li>» Chain link and razor wire are not permitted.</li> <li>» Fences and walls within the front setback shall not exceed 4 ft in height.</li> <li>» Fences and walls along rear lot lines and along side property lines not fronting a public street shall not exceed 7 ft.</li> </ul>

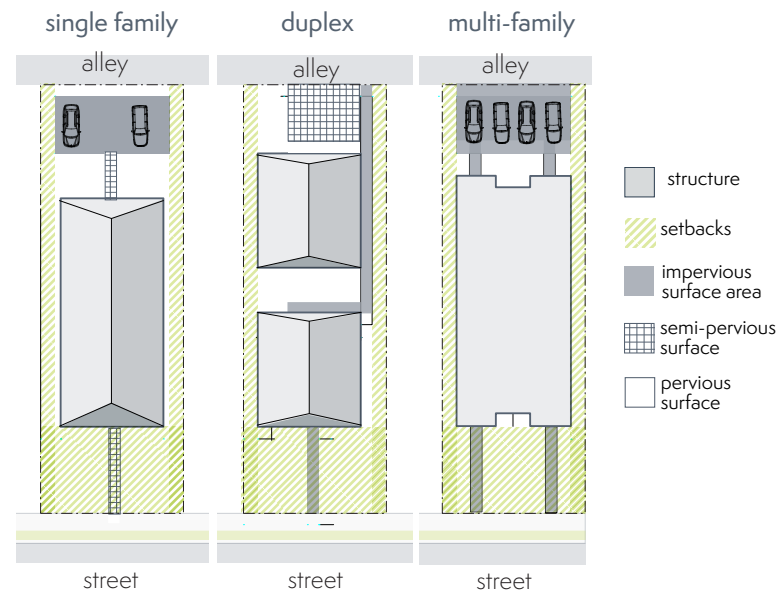
## DETACHED & ACCESSORY STRUCTURES

<b>Detached Accessory Dwelling Units (DADUs)</b>	<ul style="list-style-type: none"> <li>» Detached accessory dwelling units shall comply with the building type standards for detached duplexes (refer to p.14-15).</li> <li>» DADUs shall comply with the appropriate character area standards for duplexes (refer to p.12-13)</li> </ul>
<b>garages</b>	» Garage doors, whether attached or detached, shall face the side or rear property line.
<b>buffer distance</b>	» 20 ft spacing is required between detached structures, except in the case of cottage court multi-family development, in which case a 10 ft minimum spacing is required.



## part 4: character area standards

Character area standards are applicable to all properties within a specific neighborhood, neighborhood center, or corridor, as defined in the UDO. They shall be used in conjunction with the guidelines outlined in *part 3: general area standards* and *part 5: building type standards*.



Character area standards organize guidelines for impervious surface area, height, and setback by residence type to create a pattern that allows for contextual and character-sensitive residential development within a neighborhood, corridor, or neighborhood center.

### Restricted Building Types by Character Area

	neighborhoods			neighborhood centers		corridor
	Fall Hamilton	Merritt Southgate	Chestnut Hill	Chestnut Street	Hart Street	2nd Ave South
single family						
stacked duplex						
attached duplex						
detached duplex						
row house	R	R	R			
triplex	R	R	R			
small multiplex	NC	R	R			
stacked fourplex	NC	R	R			
cottage court	NC	R	R			
live/work	NC	R	R			
mixed-use	NC	NC	NC			NC
civic & religious						

**R**=Restricted. Building type is restricted to properties with minimum lot dimensions outlined in Building Type Standards.  
**NC**=Not Compliant. Building type is not permitted in this character area.

	single family	duplex	multi-family
<b>Fall Hamilton neighborhood</b>			
max ISR	0.4	0.4	0.55
max height	The average height of adjacent single family homes plus 5 ft*; 2 stories max		The average height of adjacent single family homes plus 8 ft*; 2.5 stories max
foundation height	18-36" above average street grade at property		
minimum front setback	average setback of adjacent single family homes		
minimum side setback	5 ft	7 ft	refer to relevant building type
<b>Merritt-Southgate neighborhood</b>			
max ISR	0.5	0.5	0.65
max height (maximum roof elevation)	The average height of adjacent single family homes plus 5 ft*; 2.5 stories max*		The height of adjacent single family homes plus 8 ft*; 3 stories max
foundation height	18-36" above average street grade at property		1-36" above sidewalk grade
minimum front setback	average setback of adjacent single family homes		average setback of adjacent properties
side setback	5 ft		refer to relevant building type
<b>Chestnut Hill neighborhood</b>			
max ISR	0.4	0.4	0.6
max height	The average height of adjacent single family homes plus 5 ft*; 2.5 stories max		The average height of adjacent single family homes plus 8 ft*; 2.5 stories max
foundation height	18-36" above average street grade at property		1-36" above sidewalk grade
minimum front setback	average setback of adjacent single family homes		average setback of adjacent properties
side setback	5 ft	7 ft	refer to relevant building type

\* refer to p.17 *Notes on Character Area Standards* for guidance on measuring height



	single family	duplex	multi-family	mixed-use
<b>Chestnut Street neighborhood center</b>				
max ISR	0.5	0.5	0.8	0.8
max height	The average height of adjacent single family homes plus 5 ft*; 2.5 stories max		3 stories	40 ft
foundation height	18-36" above average street grade at property		1-36" above sidewalk grade	
min. front setback	average setback of adjacent properties			
side setback	5 ft		refer to relevant building type	5 ft
<b>Hart Street neighborhood center</b>				
max ISR	0.5	0.5	0.8	0.8
max height	The average height of adjacent single family homes plus 5 ft*; 2.5 stories max		3 stories	40 ft
foundation height	18-36" above average street grade at property		1-36" above sidewalk grade	
min. front setback	average setback of adjacent properties			
side setback	5 ft		refer to relevant building type	5 ft

<b>2nd Ave South corridor</b>				
max ISR	0.5	0.5	0.8	
max height	The average height of adjacent single family homes plus 5 ft; 2.5 stories max		3 stories	
foundation height	18-36" above average street grade at property		1-36" above sidewalk grade	
min. front setback	average setback of adjacent properties			
side setback	5 ft		refer to relevant building type	



### Notes on Character Area Standards

- Adjacent single family homes** are the most immediate single-family or duplex residences on either side of a property AND across the street. Only three relative properties shall be utilized for the calculation: the nearest house to the left, the nearest house to the right, and the house most immediately across the street from the primary frontage.
- For corner lots**, adjacency shall include properties immediately across public right-of-way from a side property line, if no adjoining parcel exists.
- Height** shall be measured from the average natural grade at the front property line to the roof ridge or parapet.
- Natural grade** is the base ground elevation prior to grading.
- A mezzanine**, no matter the percentage of floor area it encompasses, shall be counted as an individual story.
- ISR** or impervious surface ratio is calculated by taking the total square footage of all impervious surfaces.

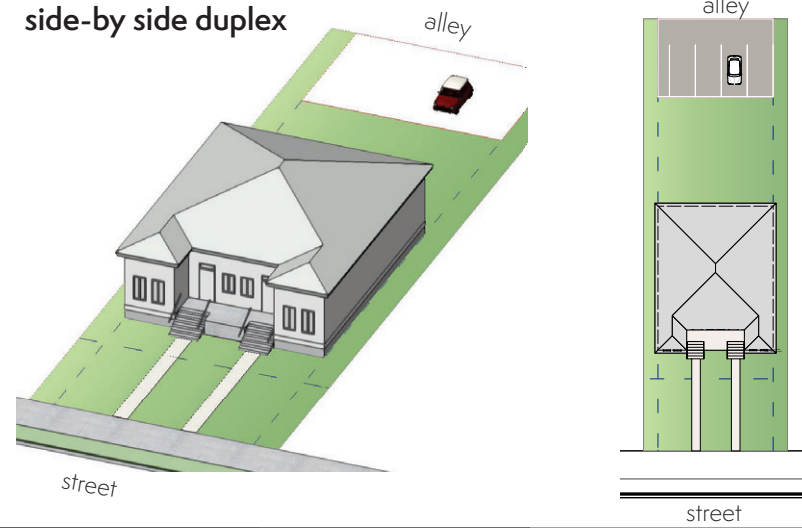
\* refer to p.17 Notes on Character Area Standards for guidance on measuring height



## part 5: residential building type standards

Building type standards are applicable to the specific building types allowed within the UDO. They shall be used in conjunction with the guidelines outlined in *part 3: general area standards* and *part 4: character area standards*.

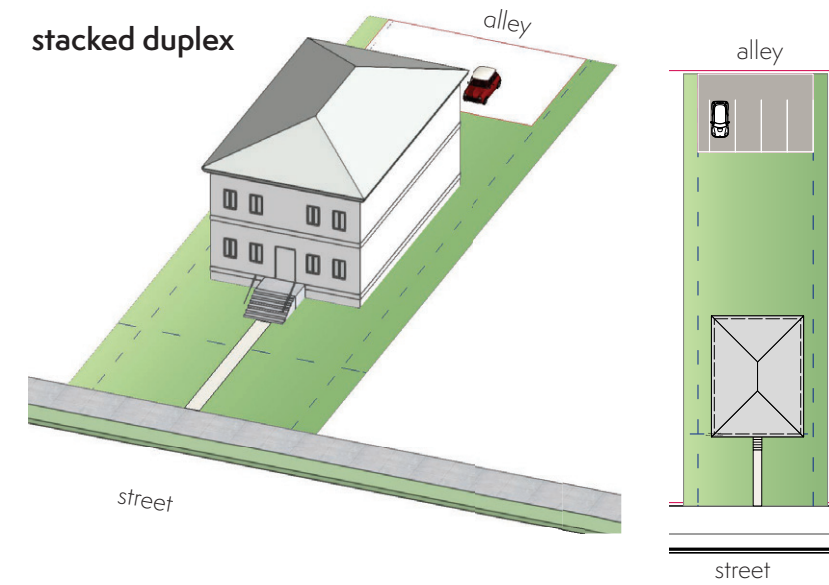
### side-by-side duplex



Building type standards outline guidelines for zoning, massing, loading, and density by building type in order to ensure that appropriate buildings are designed for parcels of particular sizes and locations within the UDO.

These diagrams show the standards for side-by-side and stacked duplexes applied to a standard 50x150 ft lot with alley access.

### stacked duplex



	SINGLE FAMILY	STACKED DUPLEX	ATTACHED DUPLEX*	DETACHED DUPLEX & DADU**
<b>permitted loading</b>	front or alley°	front or alley°	front or alley°	front or alley°
<b>min. lot width</b>	30 ft	30 ft	30 ft	50 ft
<b>min. lot depth</b>	100 ft	100 ft	100 ft	100 ft
<b>max dwelling units</b>	1	2	2	2
<b>parking ratio</b>	1 per unit	1 per unit	1 per unit	1 per unit
<b>front setback</b>	Varies by context. Refer to character area standards (p.12-13)			
<b>min. side setback</b>	5 ft	7 ft	7 ft	7 ft
<b>min. rear setback</b>	30 ft	20 ft	20 ft	20 ft
<b>max height</b>	24 ft	32 ft	2.5	30 ft
<b>max floors</b>	2	2.5	2.5	2

ROW HOUSE	TRIPLEX	SMALL MULTIPLEX	STACKED FOURPLEX	COTTAGE COURT
alley+	front or alley°	alley	alley	alley
75 ft	40 ft	75 ft	50 ft	100 ft
100 ft	100 ft	100 ft	120 ft	150 ft
9	3	8	4	10
1 per unit	1 per unit +1	1 per unit + 1	1 per unit + 2	1 per unit +2
Varies by context. Refer to character area standards (p.12-13)				
10 ft	7 ft	7 ft	5 ft	5 ft
20 ft	20 ft	20 ft	30 ft	10 ft
32 ft	32 ft	28 ft	28 ft	18 ft for detached units; 30 ft for attached units
3	3	2.5	2.5	1.5 for detached units; 30 for attached units

\*Attached duplexes may be side-by-side or front-to-back.

\*\*Detached Accessory Dwelling Units (DADU's) shall comply with the standards for Detached Duplexes.

+Front loading may be permitted for rowhouse properties with three or fewer dwelling units.

°Dependent upon alley access. Refer to p.8-9.



## part 5: mixed use & non-residential building type standards

Three non-residential building types are included within the UDO standards. These types shall be permitted where they are compatible with base zoning and compliant with character area standards.

	LIVE/WORK	MIXED-USE *	CIVIC & RELIGIOUS
<b>min. zoning</b>	RM15A-NSTR	MUN-A	R6A-NSTR
<b>loading</b>	alley	alley or secondary street frontage*	front or alley
<b>min. lot width</b>	75 ft	50 ft	30 ft
<b>min. lot depth</b>	100 ft	100 ft	100 ft
<b>max dwelling units</b>	9	10	not applicable
<b>parking ratio</b> (dedicated or on street)	1 per unit + 2	1 per unit +2	refer to zoning code
<b>front setback</b>	Varies by context. Refer to character area standards		
<b>min. side setback</b>	10 ft	5 ft	7 ft
<b>min. rear setback</b> (primary structure)	Varies by context. Refer to character area standards		
<b>min first floor height</b> (if more than 1 story)	12 ft	12 ft	n/a
<b>max height</b>	36 ft	40 ft	24 ft
<b>max floors</b>	3	4	2

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\*Mixed-use buildings shall be permitted within the Chestnut St and Hart St Neighborhood Centers on properties zoned MUL-A-NS or MUN-A-NS.

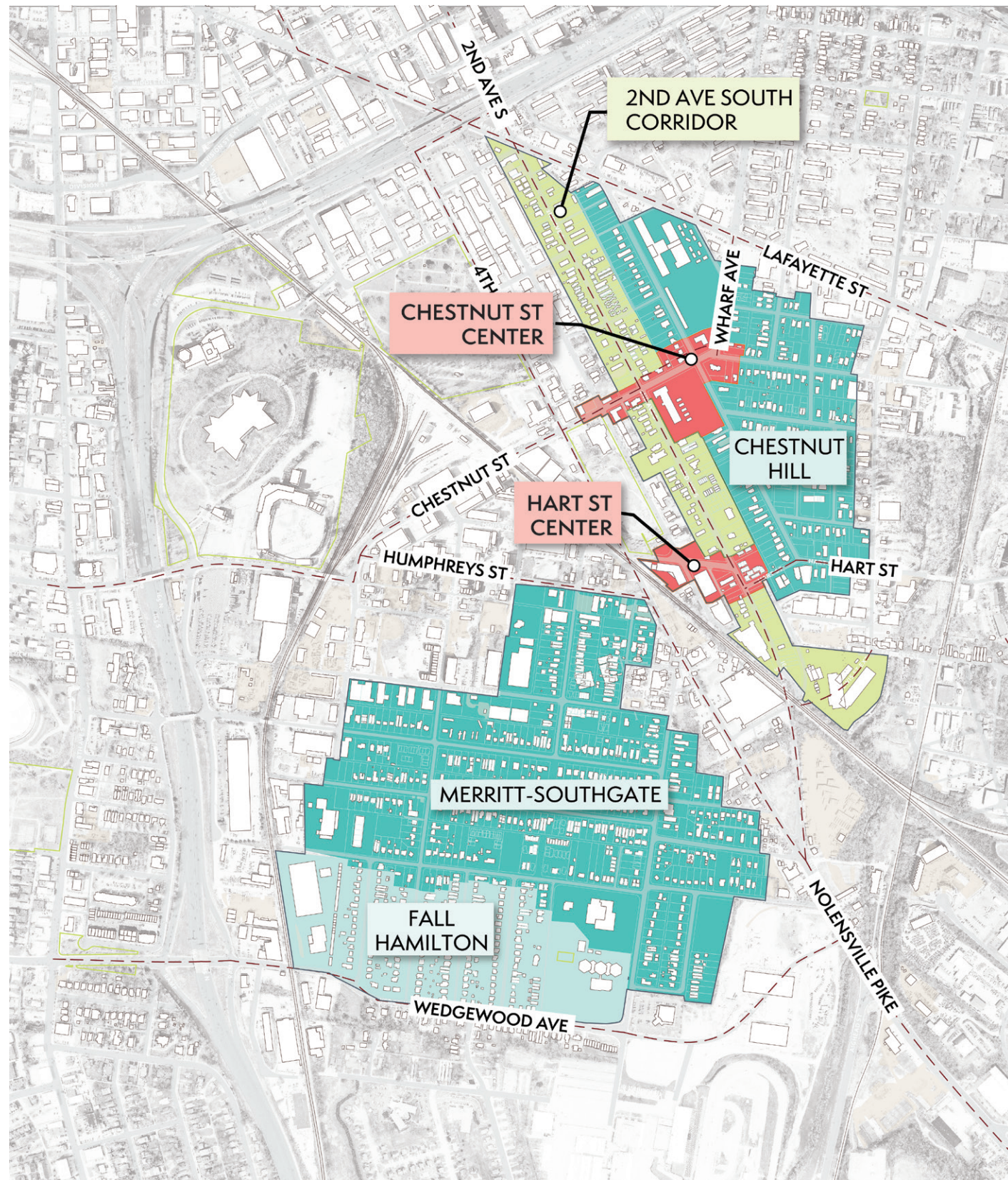


## Appendices

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## appendix a: existing conditions & objectives of character areas



### MERRITT-SOUTHGATE NEIGHBORHOOD

**Concept:** utilize alley access & topography to transition towards an urban neighborhood with contextual infill & “missing middle” housing—townhouses & small-scale multi-family

- » Maintain the feel of a residential neighborhood but allow that neighborhood to become more urban
- » Integrate a framework prioritizing human-scale & pedestrian experience to ensure sense of place is maintained
- » allow for larger massing if it is multi-family as an incentive



### FALL-HAMILTON NEIGHBORHOOD

**Concept:** conserve the character of a post-WWII neighborhood while allowing development that fits into that pattern; Slower transition than Merritt-Southgate and Chestnut-Hill

- » Lack of alleys makes this neighborhood not as suitable for greater density, infill, or multi-family
- » Mostly pre-1970s working-class housing stock (Built after WWII; .17 acre lots)
- » Topo: steep topo falling to the southeast
- » since there are no alleys, access must be from front





## CHESTNUT HILL NEIGHBORHOOD

**Concept:** utilize alley access & topography to transition towards an urban neighborhood with contextual infill & “missing middle” housing— townhouses & small-scale multi-family

- » Maintain the feel of a residential neighborhood but allow that neighborhood to become more urban
- » similar development conditions to Merritt-Southgate, but different topographical conditions & street grid
- » Integrate a framework prioritizing human-scale & pedestrian experience to ensure sense of place is maintained
- » Orientation important: (dog-leg at Chestnut-Trimble plus topography creates a disorienting condition)



View from Chestnut Hill Neighborhood toward Downtown.  
Credit: Brian Nock

## CHESTNUT STREET NEIGHBORHOOD CENTER

**Concept:** Reinforce the transformation into a mixed-use, urban neighborhood corridor that supports the neighborhoods to the north and south.

- » Unique role of an urban neighborhood corridor to provide walkable/bikeable daily uses such as coffee shops, bodegas, dry cleaners, restaurants, live-work, and multi-family
- » Integrated into the neighborhood, not stand-alone; therefore, context is key



## HART STREET NEIGHBORHOOD CENTER

The intersection of Hart Street and 2nd Ave South has been evolving into a neighborhood center on its own accord for the past few years.

Several properties on the adjacent blocks have already been rezoned to mixed-use. In addition, there is a wide variety of land use in the immediate area—SPs, light industrial, civic, commercial, as well as residential. The designation of this area as a mixed-use neighborhood center is essentially an acknowledgment of what is already occurring. Further development of this center with the UDO guidelines will help maintain sense of place.



View from 2nd Ave South down Hart St. Credit: Google Maps

## SECOND AVE SOUTH CORRIDOR

**Concept:** Reinforce the transformation into a mixed-use, urban neighborhood corridor

- » Unique role of an urban neighborhood corridor to provide walkable/bikeable daily uses such as coffee shops, bodegas, dry cleaners, restaurants, live-work, and multi-family
- » 2<sup>nd</sup> Ave functions more as an arterial or border (in comparison to Southgate in WH)
- » Intersection of Chestnut & 2<sup>nd</sup> Ave is a critical node; gateway into the neighborhood core





**MISSING MIDDLE HOUSING**



image: Missing Middle Housing & Opticos Design

Missing Middle Housing is an concept developed by Dan Parolek and Opticos Design that advocates for small-scale multi-family housing as a strategy to meet the growing demand for walkable urban neighborhoods, to increase housing diversity, and to combat issues of housing inaffordability and displacement.

It is an initiative that confronts and aims to remediate a common gap in Nashville’s housing market: multi-unit housing types compatible in scale and appropriate for walkable, urban neighborhoods. Over the past several years, fastly growing municipalities such as Arlington, VA; Phoenix, AZ; Vancouver, BC; and Minneapolis, MN; have begun to utilize the principles of Missing Middle Housing

The Wedgewood-Houston Chestnut Hill UDO utilizes several of the housing types outlined by Missing Middle Housing, including duplexes, fourplexes, cottage courts, and multi-plexes. The standards for each type were then calibrated to meet the specific objectives and fit within the character of Wedgewood-Houston Chestnut Hill.

More information on Missing Middle Housing can be found at [missingmiddlehousing.com](http://missingmiddlehousing.com). They also have a book for purchase, entitled *Missing Middle Housing: Thinking Big and Building Small to Respond to Today’s Housing Crisis*.

**PORTLAND, OR RESIDENTIAL INFILL PROJECT**

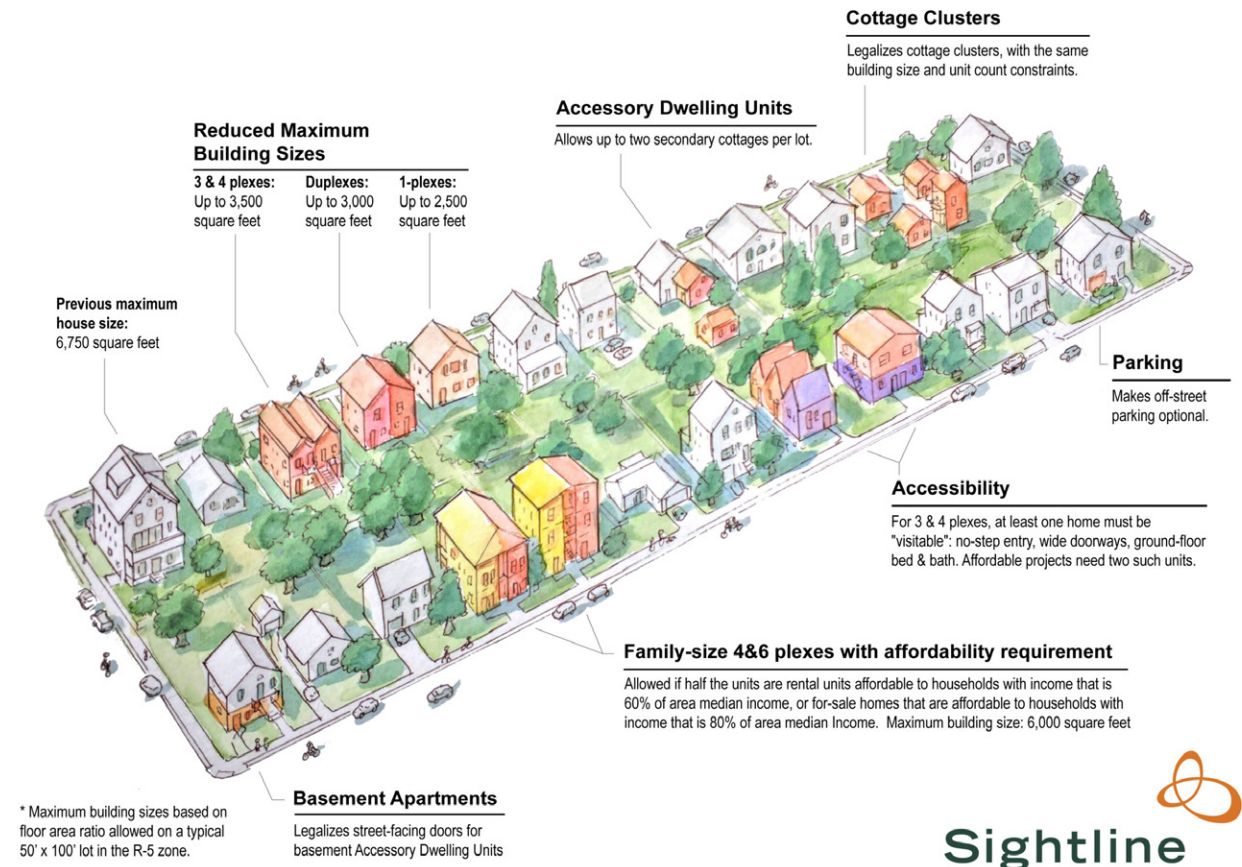


image: sightline.org

The Portland Residential Infill Project is an initiative to expand the housing types allowed in Portland’s residential neighborhoods through strategic zoning changes paired with regulations safeguarding the compatibility and character of existing residential neighborhood. There are three primary components to this initiative:

1. Allow for more housing types and greater density through zoning
2. Revise Building Design Guidelines to ensure compatibility
3. Modify parking requirements

More information on the Portland Residential Infill Projects can be found at <https://www.portland.gov/bps/rip/about-project>.

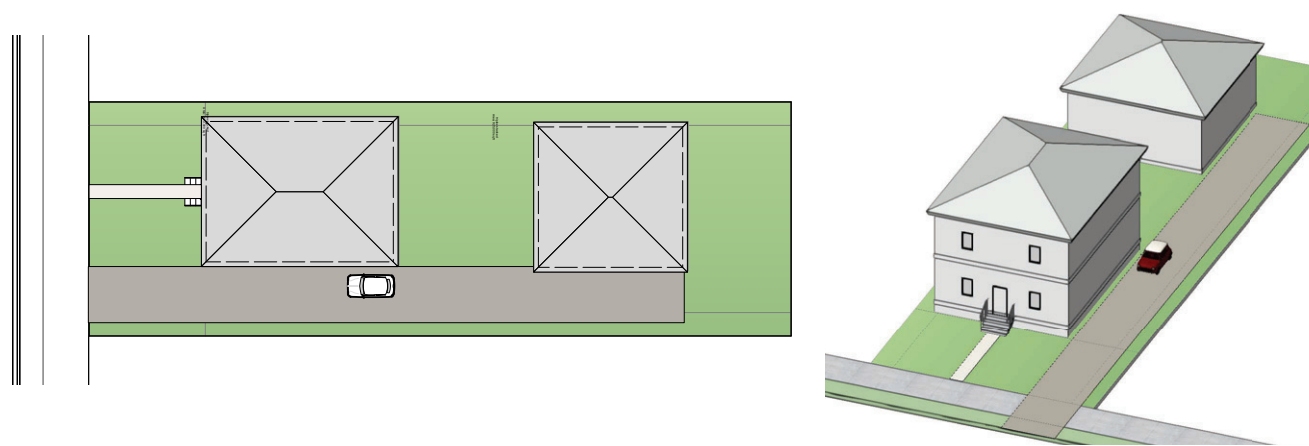
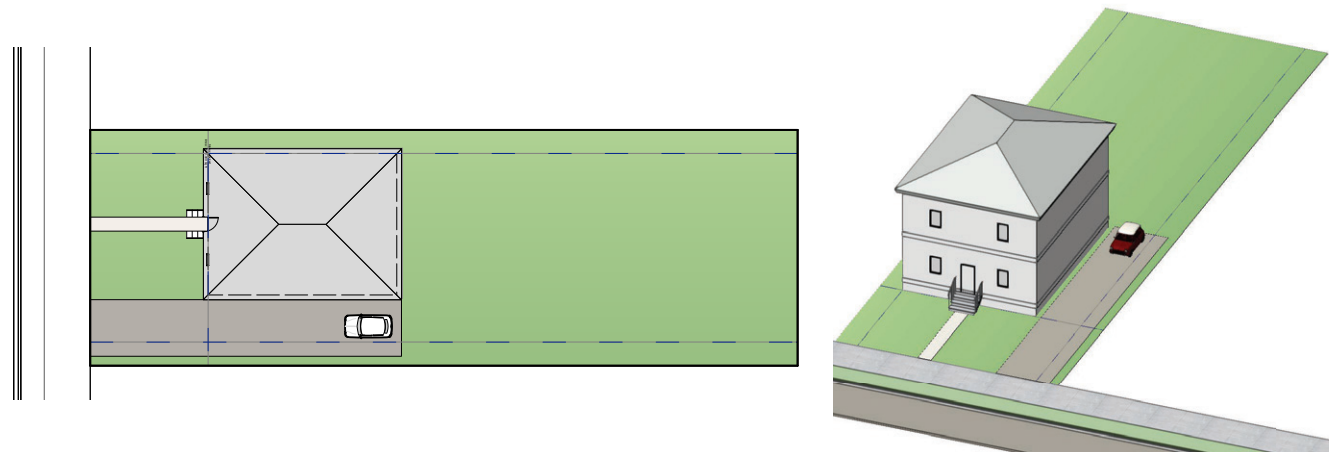


## appendix b: Building Typology

The work of Missing Middle Housing was relied upon heavily for the creation of the building types within the Wedgewood-Houston Chestnut Hill UDO. The standards for each type were calibrated to meet the specific needs and place-based conditions of the study area.

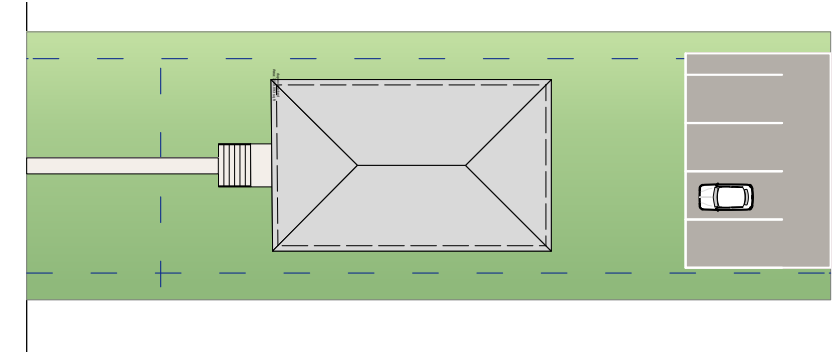
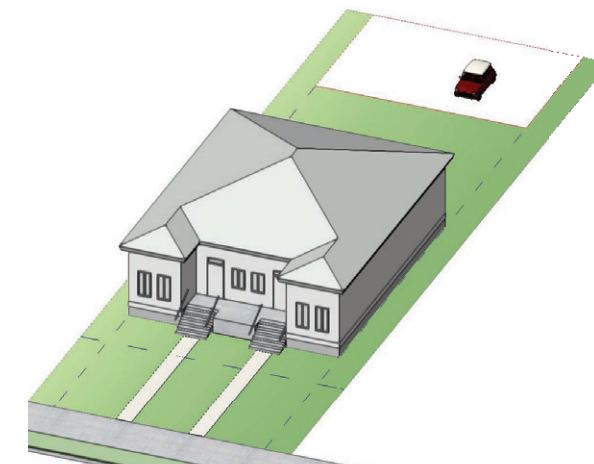
### SINGLE FAMILY & ACCESSORY STRUCTURES

A small (2 story), detached structure that consists of one dwelling unit with an entry from the street. This type may include a rear yard. An optional accessory structure may be located behind the primary structure, offering a second dwelling unit on the lot. The accessory structure will have an entry from the street or a shared driveway. Off-street parking, if provided, is located beside or behind the primary structure.



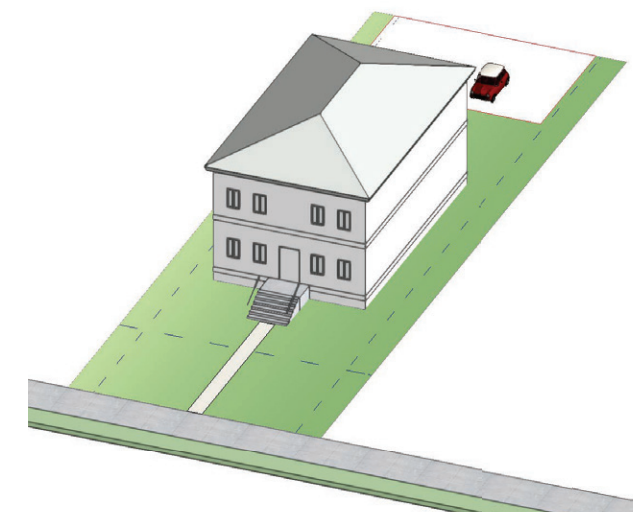
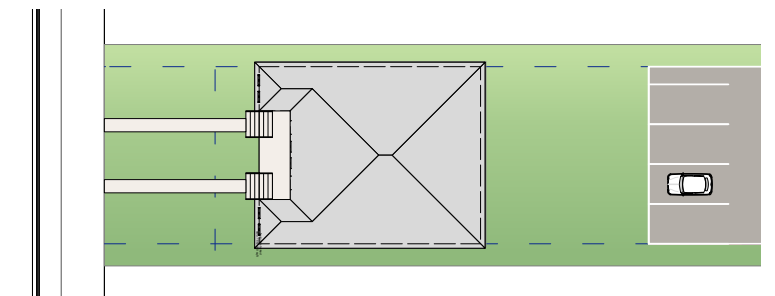
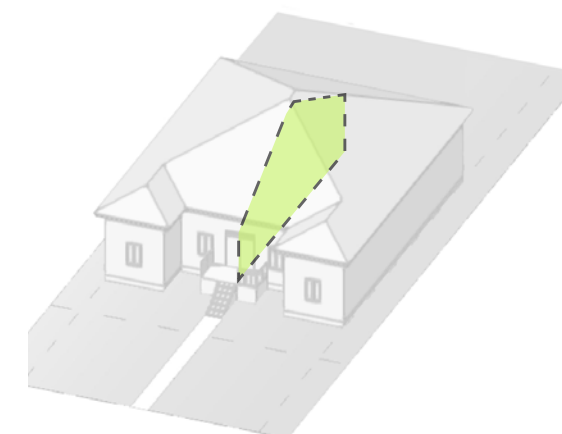
### STACKED DUPLEXES

A small (2 to 2.5-story), detached structure that consists of two dwelling units arranged one above the other, with either separate or a shared entrance from the street. This type has the appearance of a small-to-medium single-family house and may include a rear yard. Stacked duplexes fit on narrower lots than side-by-side duplexes. Off-street parking, if provided, is located behind the structure.



### SIDE-BY-SIDE DUPLEXES

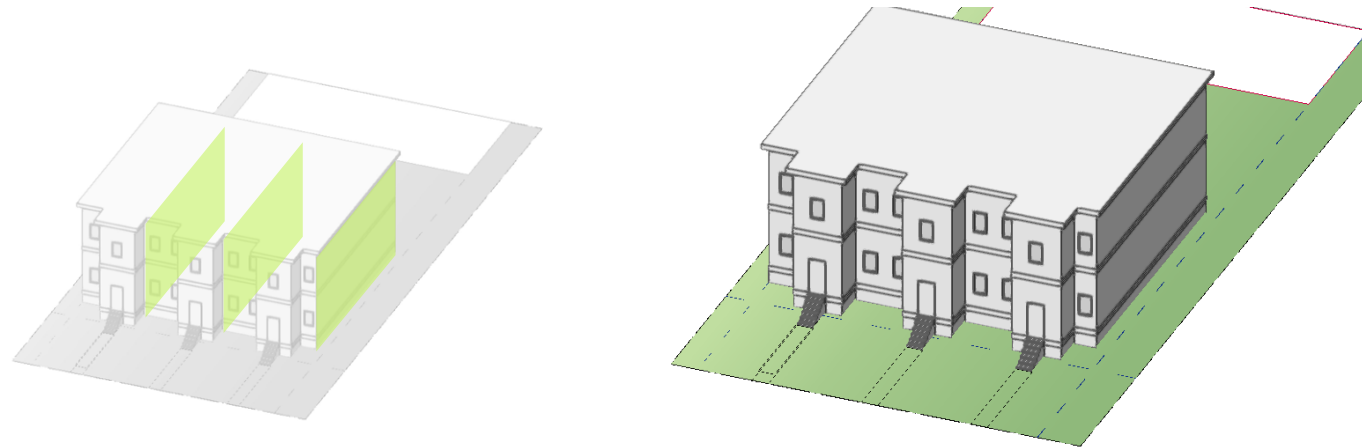
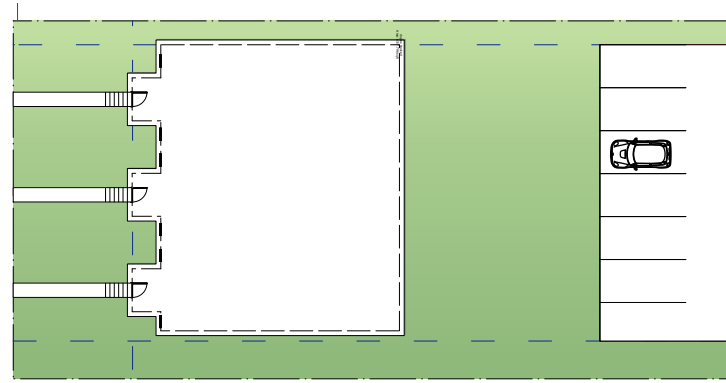
A small (1 to 2-story), detached structure that consists of two dwelling units arranged side-by-side, each with an entry from the street. This type has the appearance of a small-to-medium single-family house and may include a rear yard. Off-street parking, if provided, is located behind the structure.





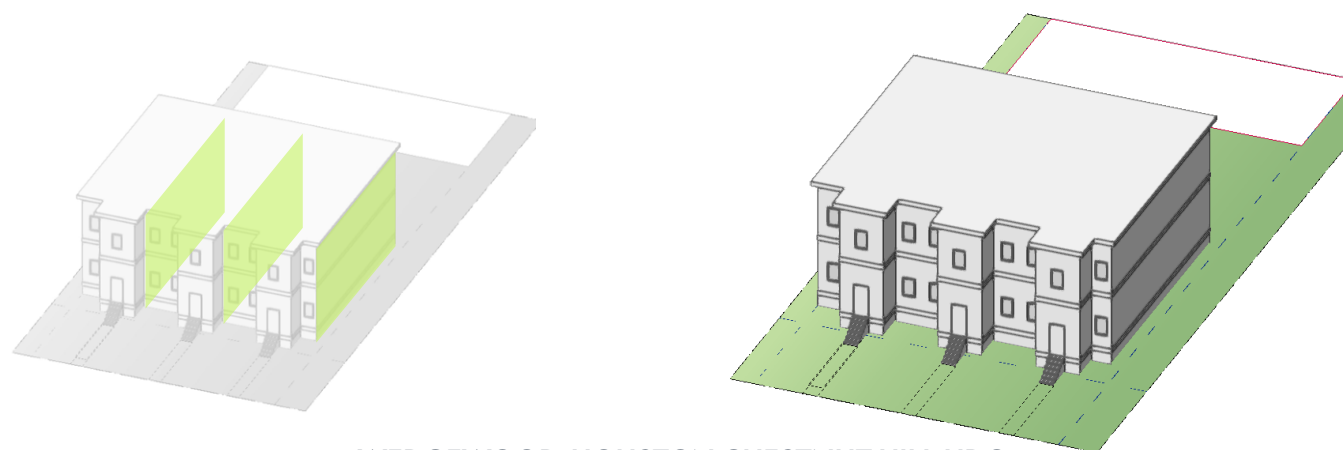
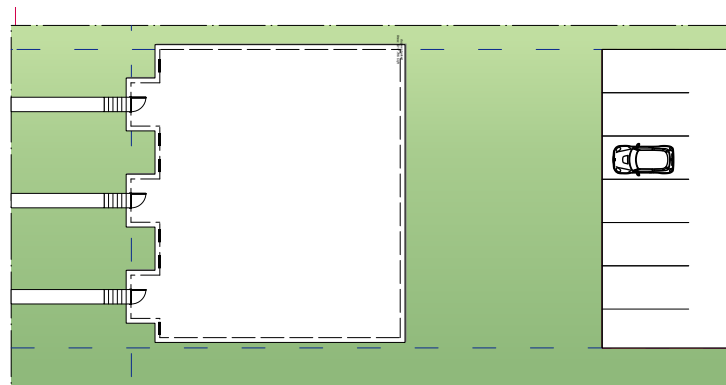
## ROW HOUSE

A small- to medium-sized (2.5 to 3-story), attached structure that consists of 3 to 9 multi-story dwelling units placed side-by-side. Entries are on the narrow side of the unit and typically face a street or courtyard. The street façades have entrances and avoid garages. Off-street parking is located behind the structure.



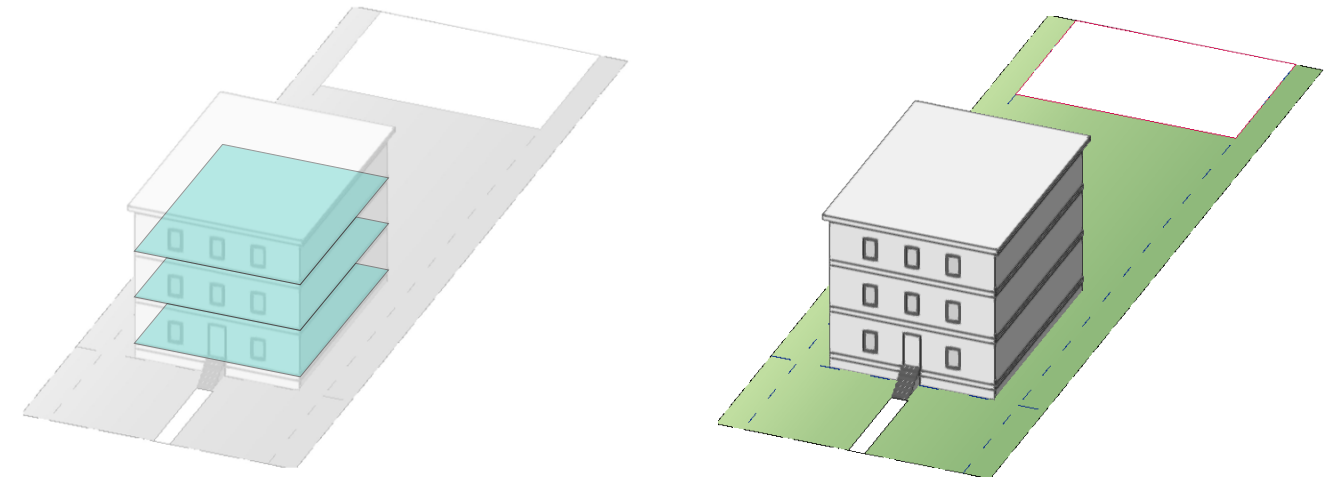
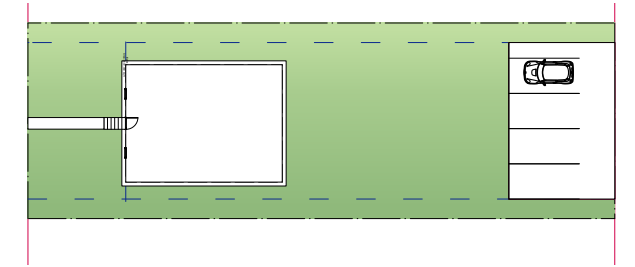
## LIVE/WORK

A small- to medium-sized (2 to 3.5-story), attached structure consisting of 3 to 9 multi-story dwelling units placed above and/or behind a fire-separated flexible ground floor space. The flex space should be able to accommodate a range of non-residential use. The flex space and residential unit typically have separate street entrances. The flex space typically has a taller height (min. 10') and a shopfront frontage. Off-street parking is located behind the structure.



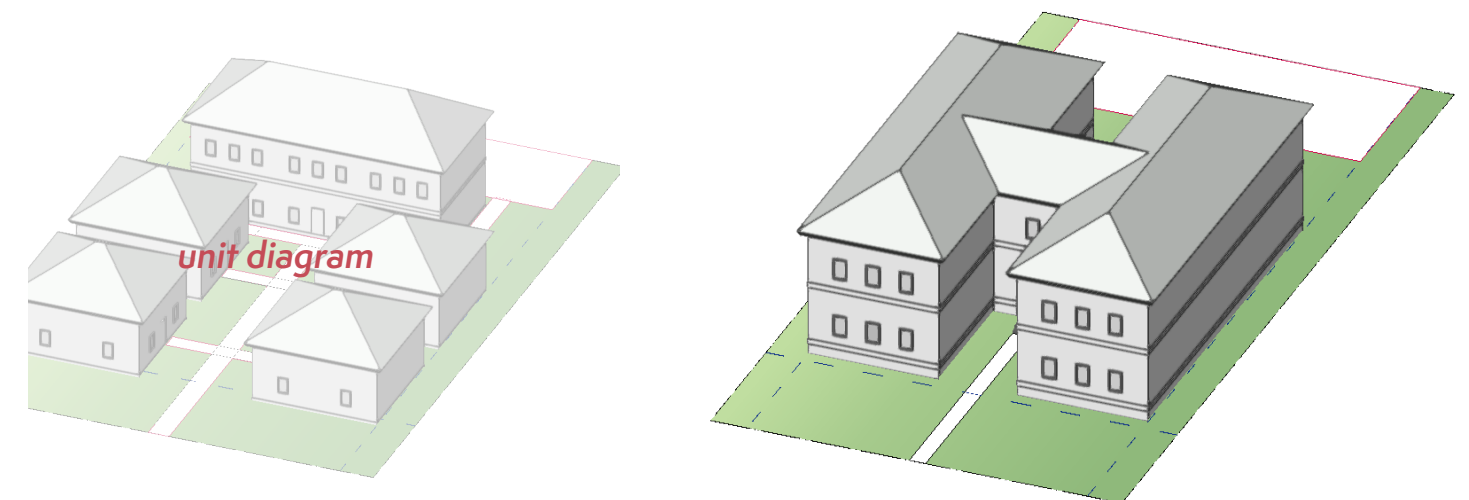
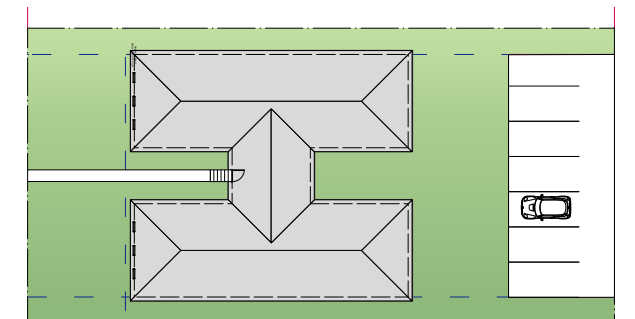
## TRIPLEX

A small- to medium-sized (3-story), detached structure that consists of 3 dwelling units typically stacked on top of each other on consecutive floors. Entry can be from either a single shared entrance or one entry for the ground floor unit and a shared entry for the units above. Off-street parking is located behind the structure.



## SMALL MULTIPLEX

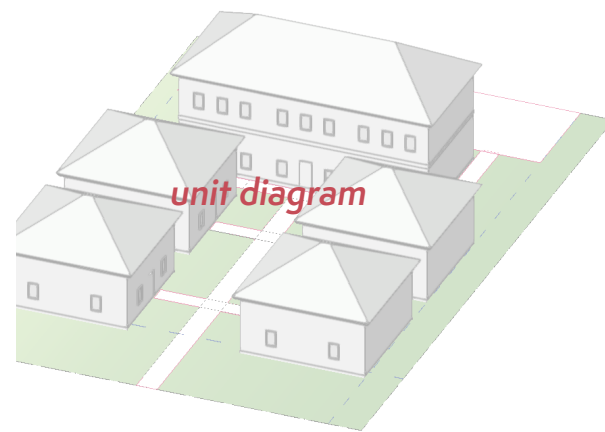
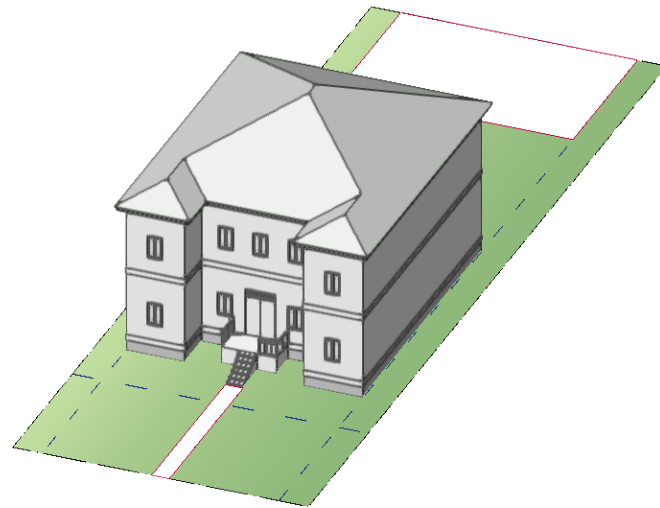
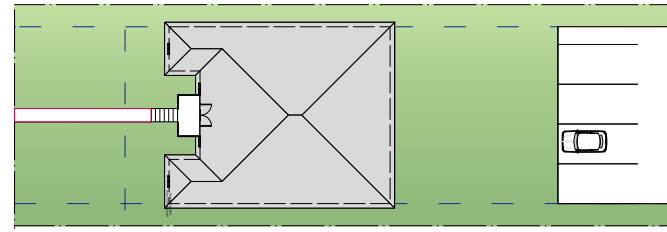
A detached structure (2 to 2.5-story) that consists of 5 to 8 dwelling units arranged side-by-side and/or stacked, typically with a shared entry from the street. This type has the appearance of a medium-to-large single-family house. Off-street parking is located behind the structure.





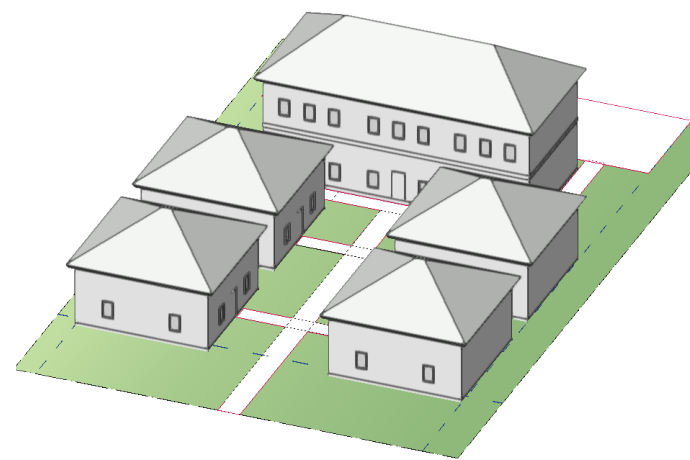
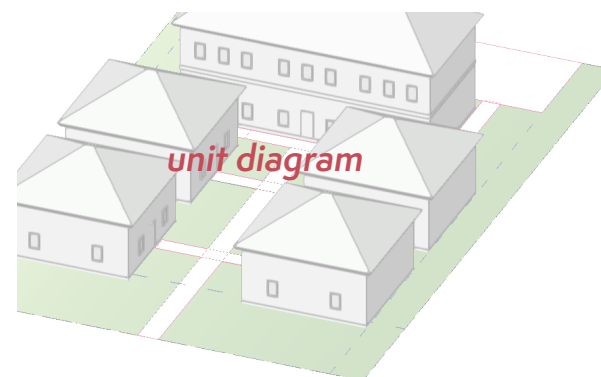
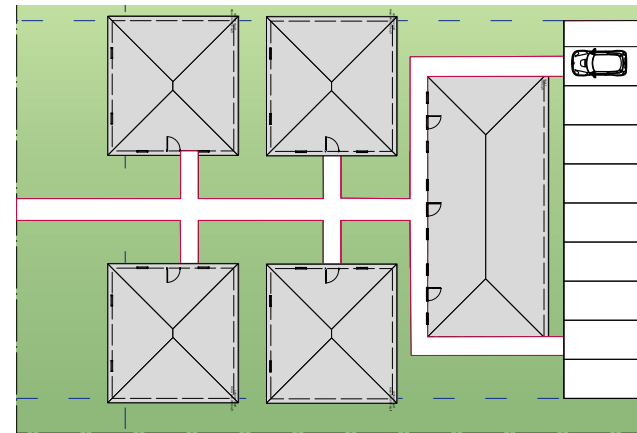
## STACKED FOURPLEX

A detached structure (2 to 2.5-story) with four dwelling units, two on the ground floor and two above, with shared or individual entries from the street. This type has the appearance of a medium-to-large single-family house and may include a rear yard. Off-street parking is located behind the structure.



## COTTAGE COURT

A group of small (1 to 1.5-story), detached structures arranged around a shared court visible from the street. The shared court is an important community-enhancing element and replaces the function of a rear yard. Unit entrances should be from the shared court. Often, the rear-most building can be up to 2 stories. Off-street



## appendix d: Zoning Calibration

Prior to this initiative, most parcels within the UDO boundary were zoned R6 or R6-A, intended for low density single family or duplexes at 1 unit per 6,000 sq. ft. This zoning designation does not permit any multi-family with more than two units.

In order to accommodate the increase of housing types and allow for multi-family housing, these properties were “up-zoned” in conjunction with the UDO to enable it to meet its objectives. Whereas prior to the rezoning, most residential properties were entitled to two units, now they will be entitled to three to four units, depending on the property size.

