

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

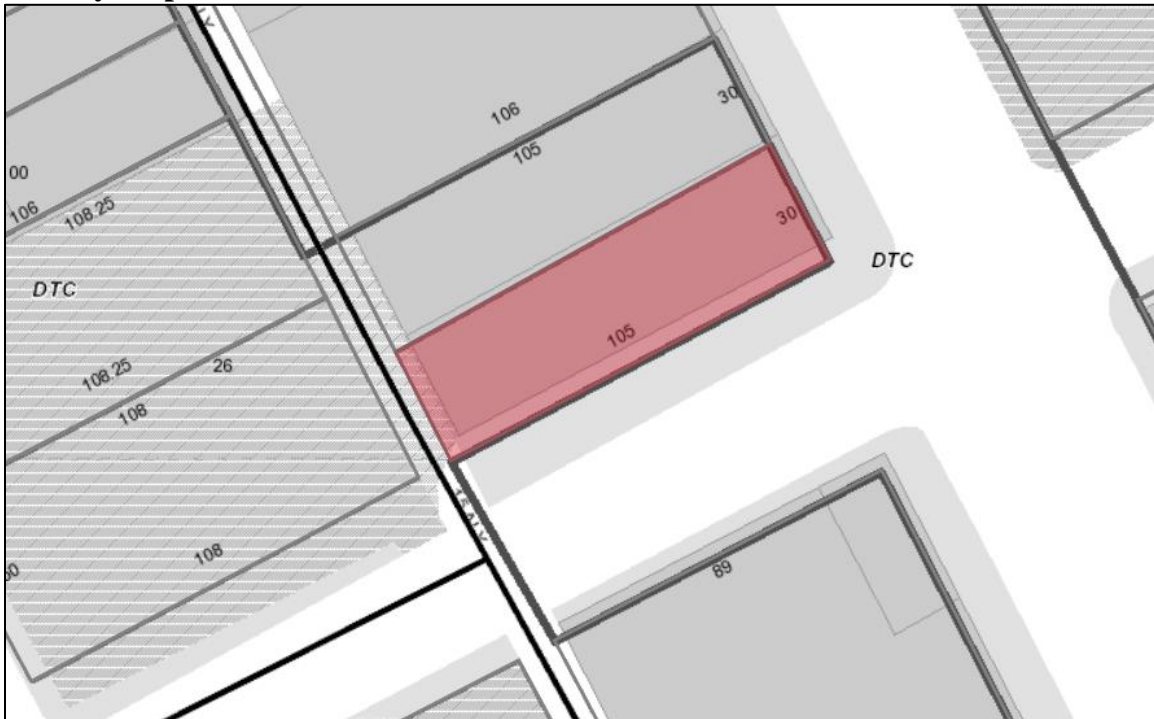
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION
201 Second Avenue North
February 17, 2021

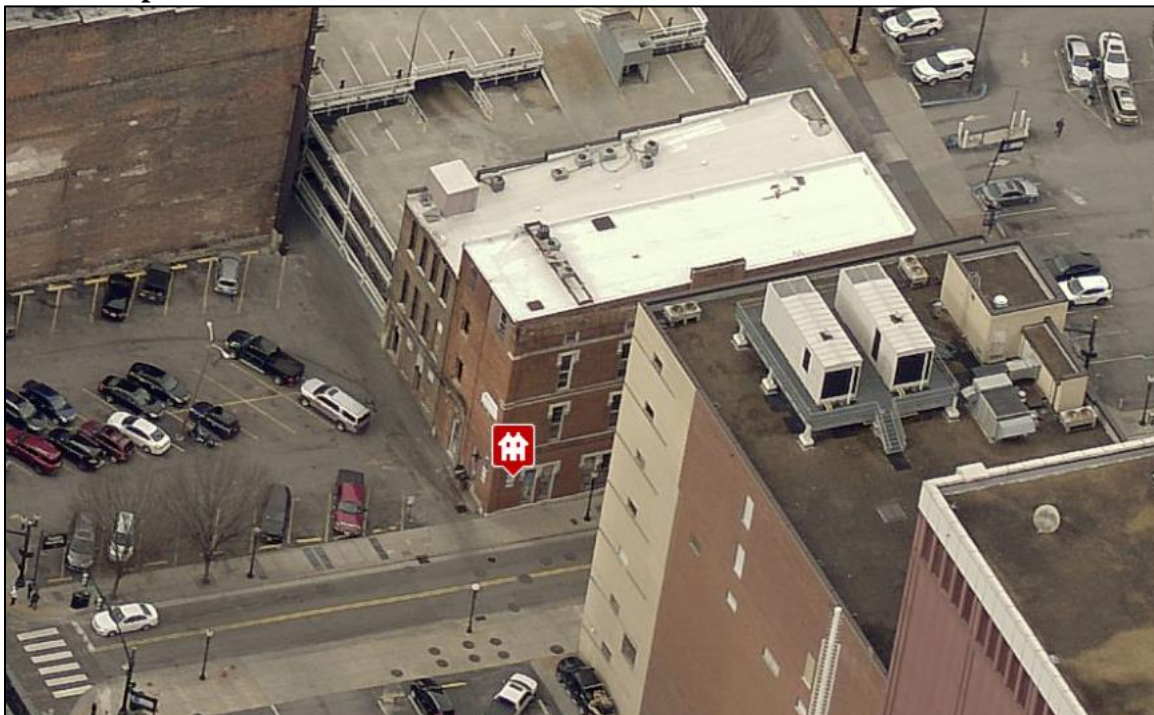
Application: New Construction—Addition; Violation
District: Second Avenue Historic Preservation Zoning Overlay
Council District: 19
Base Zoning: DTC
Map and Parcel Number: 09302400900
Applicant: Ajeya Upadhyaha
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

<p>Description of Project: The applicant has constructed a rooftop addition with two stair towers, railings, and decks without permits.</p> <p>Recommendation Summary: Staff recommends approval of the rooftop addition with the conditions that:</p> <ol style="list-style-type: none">1. A cornice, to be approved administratively, be added to the 2nd Ave N and Church Street facades within 180 days using the cornice from the building that used to be at 200 2nd Avenue as an inspiration;2. The rooftop additions be clad in stucco;3. MHZC staff approve doors prior to their purchase and installation; and,4. The rooftop element have no additional lighting, signage or other features installed without a Preservation Permit. <p>With these conditions, the application will meet section III.H (New Construction—Additions). If the cornice is not installed, staff recommends removal of the front stairwell and railings along Church Street and Second Avenue within 180 days.</p>	<p>Attachments</p> <p>A: Plans</p> <p>B: Building permit 2018-for interior work</p> <p>C: Owner’s letter to MHZC</p>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. Rehabilitation

Upper Façades

General Principles

Original appearance and details of upper-story façades should be retained.

If repairs are needed, it should use historically appropriate materials and methods.

Replacements to façades should be in keeping with the style and period of the building.

The use of contemporary materials for the replacement elements of façades may be appropriate if they possess characteristics similar in scale, design finish, texture, durability, and detailing to historic materials and meet *The Secretary's Standards*.

Interior changes that affect the exterior appearance of upper façades including lowering ceiling heights or raising floor levels should be avoided.

L. Guidelines: Roofs and Chimneys

1. Original roof configuration, including coping, parapets, and materials should be retained.
2. Appurtenances related to outdoor use of roofs, including elevator shafts, railings, canopies, and any other elements visible from the street, should be compatible with the building should not obscure character-defining features. Guidelines for brick and mortar should be followed for chimney maintenance.
3. Appropriate roof coverings include standing seam metal, composite asphalt, rolled roofing, and rubber membrane roofing. Most rooflines in the Second Avenue district are flat or sloped. These roof forms should not be altered unless based on historical documentation.
4. Roof mounted mechanical units should be located so as to be inconspicuous from street level.
5. Roof additions if approved, should be located so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

III. NEW CONSTRUCTION

General Principles

These guidelines shall apply only to the exteriors of buildings and to areas of lots visible from public rights-of-way.

The public façades – street related elevations – of proposals for new buildings shall be more carefully reviewed than other façades.

H: Guidelines: Additions to Existing Buildings

1. New additions to existing buildings should be kept to a minimum and should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting.
2. Additions should not be made to the public façades of existing buildings.
3. Additions should not contribute to the loss of, or obscure, historic character-defining features or materials.
4. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
5. Rooftop additions should not exceed one story in height (or 15') and should be set back a minimum of 30 feet from the Second Avenue façade of the building, 10 feet from First Avenue, and 20' from a secondary street if it is a corner building

Rooftop railings should set back from each street facing wall by 8'.

Railings should not be used to support additional elements such as speakers, lighting, plants or signage.

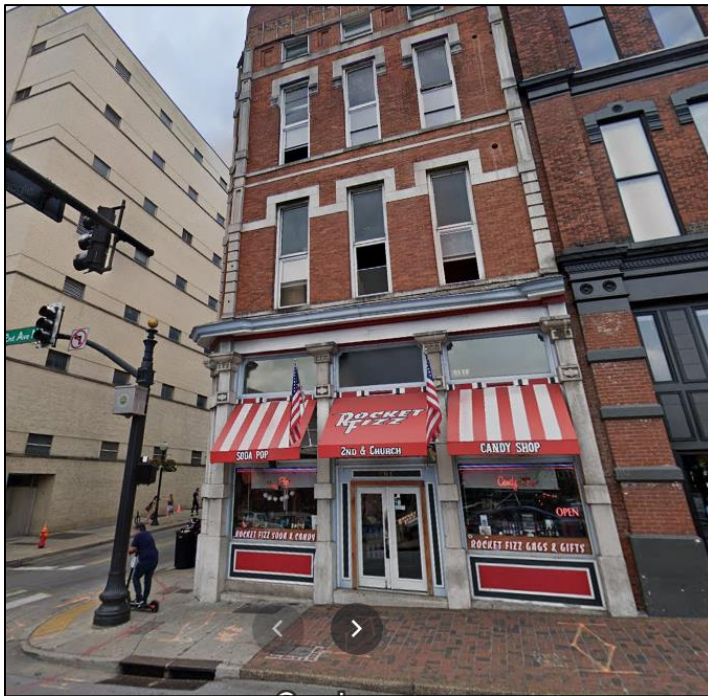
In locations where railings are visible from the street, the materials should minimize the impact of the railing.

Materials such as butt-joint glass or horizontal steel cable, may be appropriate.

Background: No. 2 Market at 201 Second Avenue North was built circa 1865 and is a contributing building in the Second Avenue district. It served as a market as early as 1869 and the Robert Candy Co from 1919 to 1926. The Bradley-Mack Candy Co purchased it in 1926 and there is still a candy store there today, Rocket Fizz.

The building was impacted in the 2020 Christmas morning bomb, which included damage to the storefront, windows and the upper chamfered corner of masonry. The addition was begun prior to that incident.

Analysis and Findings:



The applicant built a rooftop addition, which includes two stair towers, railings and a deck. A building permit was requested for “interior work” so there was no MHZC review. Commercial rehab permit 2018-049568 was issued by Codes on 1/2/2019 with the following project scope: *to conduct interior renovations to 2-4th floor to convert to 6 apartment units. no change to exterior or footprint.*

Figure 1: 201 Second Avenue North in 2019.

Height & Location:

The addition includes two stairwell towers, decking and railings.

The tallest feature of the addition is the two stair towers that are eleven feet (11’) tall. The addition does not exceed one story and so meets section III.H. 5

Both stair towers, should step back at least thirty feet (30’) from the Second Avenue side and ten feet (10’) from the Church Street side. One of the towers meets these step backs

but one does not. That tower is only twenty-two feet (22') from Second Avenue and is stacked on the Church Street side wall.

In most cases, the Commission has required a railing, deck, and associated features to step back from the edge of a building at least eight feet (8'). In this case, there is railing three and one-half feet from Second Ave N and on the wall of the Church Street side in two places. The project does not meet section III.H.5

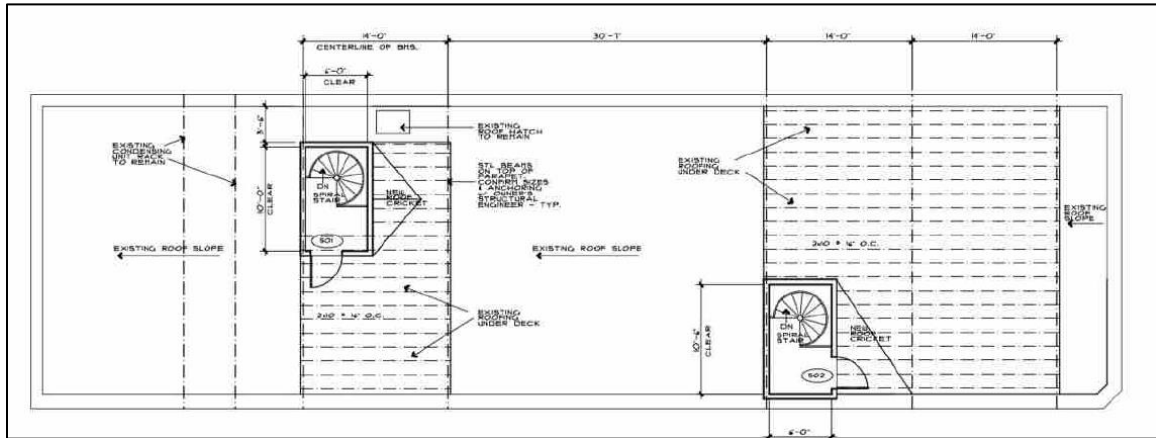


Figure 2: Rooftop plan showing the areas of decking, railing and two stair towers.



Figure 3: Bomb damage can be seen on the top, street-side corner. The railing and one of the stair towers can be seen on the Church Street side.



Figure 4: The railing and one of the stair towers can be seen on the Church Street side. Evidence of a missing cornice can be seen at the top of the building.

Materials:

The stair towers are proposed to be clad in cedar shakes and copper siding. Copper siding is sheets of flat, seamed, or tiled copper used as cladding for a wall. The railing is metal and the decking is a composite decking similar to what has been approved on other rooftop deck areas. Copper siding and cedar shakes are not typical materials for commercial buildings. Staff recommends that the towers are clad in stucco which is the most appropriate cladding material historically. The roofing material is proposed to be a single-ply membrane material which is appropriate for a low-sloped roof. Doors are not indicated. With the condition that the tower cladding will be stucco, and staff approve the doors, the new construction will meet section III.H for Additions—Materials.

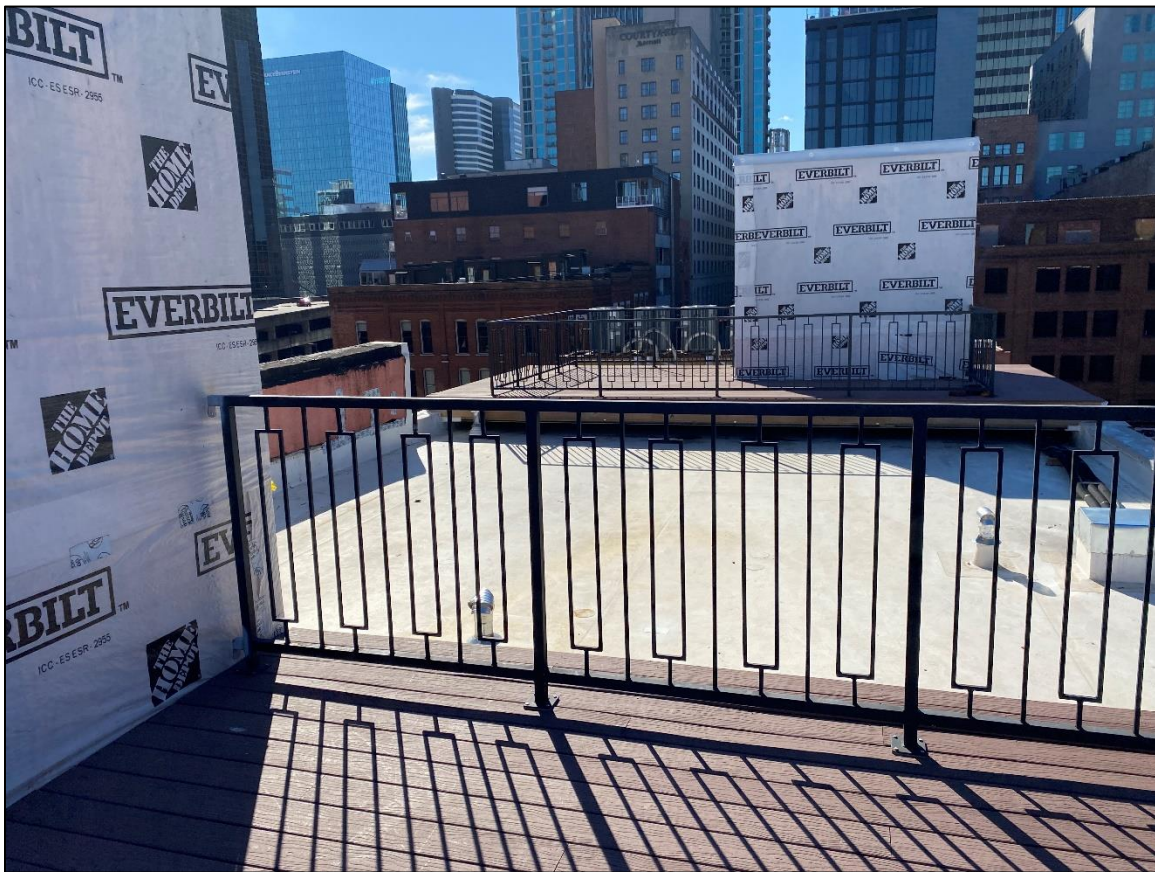


Figure 5: The rooftop addition as seen from the rear deck, looking towards the front of the building.

Historic Features:

The addition does not obscure or require the removal of historic materials or features; therefore, the project meets section III.H.3 for additions.



Figure 6: Interior stair.

Scale:

Moving the stairwells is not an easy endeavor as the interior stairs would also have to be relocated. Design guideline III.H.4 states that additions should be minimal and additions not normally recommended could be appropriate if it results in the building be more compatible with the district. Staff recommends the missing cornice be installed on the Second Avenue and the Church Street Avenue facades. No photographs or drawings for this building have been found to date. Staff recommends a simple design using the now missing building from across the street, that was a building of a similar age and that had a similar chamfered corner, as inspiration for a new design.

This would lessen the visual impact of the rooftop addition and would be more compatible with the district. Since the addition is minimal, this may be enough for the project to meet the design guidelines without the required street-side setbacks.



Figure 7: 200 Second Avenue in 1983 (now surface parking.) Photo courtesy of Phil Thomason.



Figure 8: 200 Second Avenue, date unknown.

Recommendation Summary: Staff recommends approval of the rooftop addition with the conditions that:

1. A cornice, to be approved administratively, be added to the 2nd Ave N and Church Street facades within 180 days using the cornice from the building that used to be at 200 2nd Avenue as an inspiration;
2. The rooftop additions be clad in stucco;
3. MHZC staff approve doors prior to their purchase and installation; and,
4. The rooftop element have no additional lighting, signage or other features installed without a Preservation Permit.

With these conditions, the application will meet section III.H (New Construction—Additions). If the cornice is not installed, staff recommends removal of the front stairwell and railings along Church Street and Second Avenue within 180 days.

1st - 4th Floors - Renovations

200 Church Street

Nashville, Tennessee

CODE SUMMARY:

SCOPE OF WORK: BUILD-OUT 3,165 SF/FLR OF SHELLED SPACE IN AN EXISTING FOUR-STORY HISTORIC BUILDING TO CREATE APARTMENT UNITS (2nd - 4th FLOORS).

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-2 (APARTMENTS) TYPE 'B' UNITS

EXISTING BUILDING = TYPE III B, FULLY SPRINKLED (NOTE: BUILDING WILL BE FULLY SPRINKLED AT THE COMPLETION OF THE PROJECT)

EXISTING STAIRS ARE 2 HOUR CONSTRUCTION WITH NEW 90 MIN DOORS AND FRAMES. UPGRADE EXISTING STAIR SHAFT & ELEVATOR SHAFT AS REQUIRED FOR TWO HOUR CONSTRUCTION.

EXISTING BASEMENT IS NON-OCCUPIED SPACE FOR ELEVATOR ROOM & PIT AND UTILITY ACCESS ONLY.

NEW STRUCTURES FOR ROOFTOP ACCESS TO BE CONSTRUCTED OF FIRE RETARDANT LUMBER.

ALL EXISTING AND NEW WINDOWS ARE OPERABLE.

INDEX TO DRAWINGS:

ARCHITECTURAL:

- A1 COVER / 1ST FLOOR PLANS
- A2 2ND FLOOR PLANS
- A3 3RD FLOOR PLANS
- A4 4TH FLOOR PLANS
- A5 ROOF PLAN, SCHEMATIC SECTION
- A6 CASEWORK ELEVATIONS
- A7 BUILDING ELEVATIONS

APPLICABLE CODES:

- 2012 INTERNATIONAL BUILDING CODE w/ LOCAL AMENDMENTS
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE
- 2009 ICC/ANSI 117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- 2012 INTERNATIONAL PLUMBING CODE w/ LOCAL AMENDMENTS
- 2012 INTERNATIONAL MECHANICAL CODE w/ LOCAL AMENDMENTS
- 2011 NATIONAL ELECTRIC CODE w/ LOCAL AMENDMENTS
- 2012 INTERNATIONAL FIRE CODE w/ LOCAL AMENDMENTS

MECH / ELEC LEGEND:

- Ⓛ DUPLEX
- ▼ TV/DATA
- Ⓜ GROUND FAULT INTERCEPT DUPLEX
- Ⓞ JUNCTION BOX
- Ⓢ EXIT LIGHT
- Ⓟ PENDANT LIGHT
- Ⓞ CAN LIGHT
- TRACK LIGHT
- OVER MIRROR LIGHT
- Ⓜ WALL MTD SCOFF
- Ⓜ WALL MTD SUPPLY
- Ⓜ WALL MTD RETURN
- Ⓜ WALL MTD RETURN
- Ⓜ CEILING FAN

SYMBOL LEGEND:

- Ⓞ DOOR INDICATION

PARTITION LEGEND:

- EXISTING MASONRY
- EXISTING PARTITION
- EXISTING 2 HR PART.
- EXISTING 1/2 HR PART.
- NEW NON-RAT. PARTITION
- NEW 1/2 HR PARTITION
- NEW 2 HR PARTITION
- UPGRADED 2 HR PART.
- DEMOLISHED PARTITION

INTERIOR LIGHTING & POWER DENSITY CALCULATIONS

TOTAL SF (3165/FLR; TOTAL 9495 SF)

Fixtures/Watts	2nd Flr	3rd Flr	4th Flr	Total Fixtures	Total Watts
Can lights/11	50	50	0	100	1100
Clg Fan/48	8	8	10	26	1248
Chandlers/27		5	5	15	405
Outlets/40 (10% of time)	66	66	70	202	808
Fixtures/11	30	30	30	90	990
Tracklights/33			8	8	264
Total					4815 Watts

Lighting & Power Density 4815/9495 = 0.51

Notes: 1. All Fixtures shall be LED.
2. Calculations by Building Owner shall be verified by Electrical Contractor

ACTION

METROPOLITAN BOARD OF FIRE & BUILDING CODE APPEALS
DEPARTMENT OF CODES ADMINISTRATION
800 2ND AVENUE SOUTH
NASHVILLE, TN 37210
(615) 862-6521

March 30, 2018

Dr. A. K. Upadhyaya
2000 Lindell Ave
Nashville, TN 37203

Case No. 20180017679
Map/Parcel No. 09302400900

To: Dr. Upadhyaya

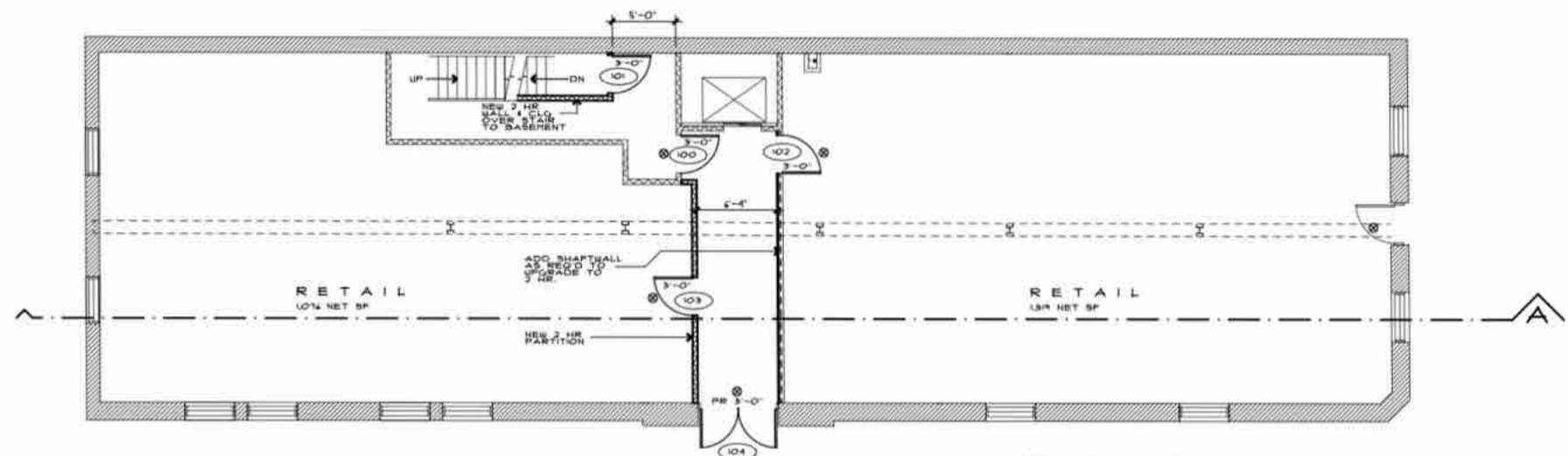
At the Tuesday, April 10, 2018 meeting of the Board of fire and Building Codes Appeals your Case No. 20180017679 was considered.

BE IT RESOLVED BY the Metropolitan Board of Fire and Building Code Appeals in the appeal of, **A. K. Upadhyaya**, appellant for the property located at **201 2ND AVE N 37201**, being further identified as being map/parcel **09302400900**, appeals the decision of the Director of Codes and Building Safety as it applies to the proposed renovations to existing 4 stories building in Downtown Nashville with Business/Mercantile appellant appealed the IBC 1021.2 exits from stories. Two exits, or exits access stairways or ramps providing access to exits, from any story or occupied roof shall be provided where one of the following conditions exists: 1. The occupant load or number of dwelling units exceeds one of the values in Table 1021.2(1) - Table 1021.2(1) covers R-2 occupancies with a maximum of 4 units per story and does not permit R-2 occupancies with only one exit on the fourth story and above.

Now and therefore it is the decision of the Board that the request in Appeal Base No. 20180017679 as set out and described above and further described in the case record is hereby: **APPROVE WITH STIP MUST BE IN FULL COMPLIANCE WITH FIRE CODE AND BUILDING CODE**

METROPOLITAN BOARD OF FIRE AND BUILDING CODE APPEALS

By: *[Signature]*
Wade Hill
Assistant Director
Department of Codes Administration



NEW CONSTRUCTION

MARK	SIZE	RATING	HDG.	NOTES
100	3'-0"	90 MIN.	5	90 MIN. WOOD DOOR FRAME
101	3'-0"	90 MIN.	2	90 MIN. WOOD DOOR FRAME
102	3'-0"	90 MIN.	3	90 MIN. WOOD DOOR FRAME
103	3'-0"	90 MIN.	3	90 MIN. WOOD DOOR FRAME
104	PR. 3'-0"	-0-	1	

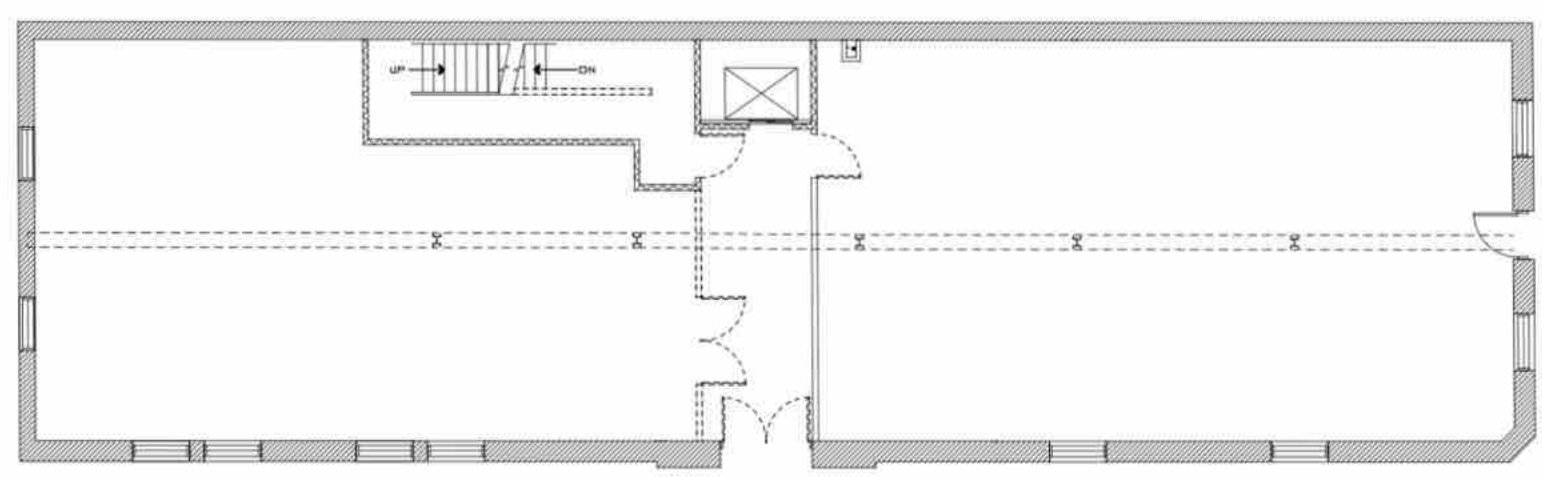
NOTE: DOOR HEIGHTS TO BE 7'-0" - UNQ. / SEE FLOOR PLAN FOR RATINGS

HARDWARE SETS

1. 1 1/2 PR. H.D. B.B. HINGES, SILENCERS, CLOSER, KEYPAD ENTRY
2. 1 1/2 PR. B.B. HINGES; SILENCERS; WALL STOP; OFFICE LOCKSET
3. 1 1/2 PR. B.B. HINGES; SILENCERS; WALL STOP; PRIVACY LOCKSET
4. 1 1/2 PR. B.B. HINGES; SILENCERS; WALL STOP; PASSAGE LOCKSET
5. 1 1/2 PR. B.B. HINGES; SILENCERS; WALL STOP; CLOSER, PANIC DEVICE

DOOR SCHEDULE NOTES:

1. ALL DOORS TO BE SOLID WOOD FLUSH DOORS
2. ALL DOOR FRAME TO BE WOOD UNLESS NOTED OTHERWISE
3. ALL 2'-10" DOORS SHALL PROVIDE 32" CLEAR OPENING WHEN THE DOOR IS AT 90 DEGREES.



DEMOLITION

3,141 SF



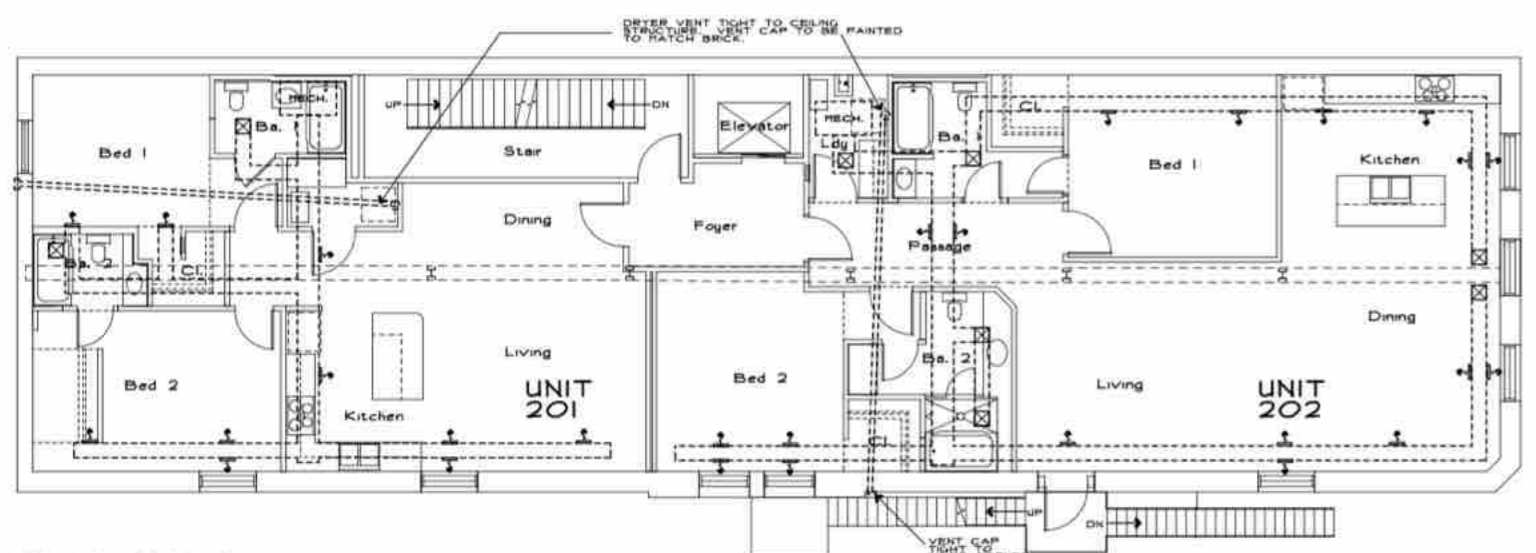
COVER / FIRST FLOOR PLANS

15 AUG 18

A1

5 DEC 18





MECHANICAL

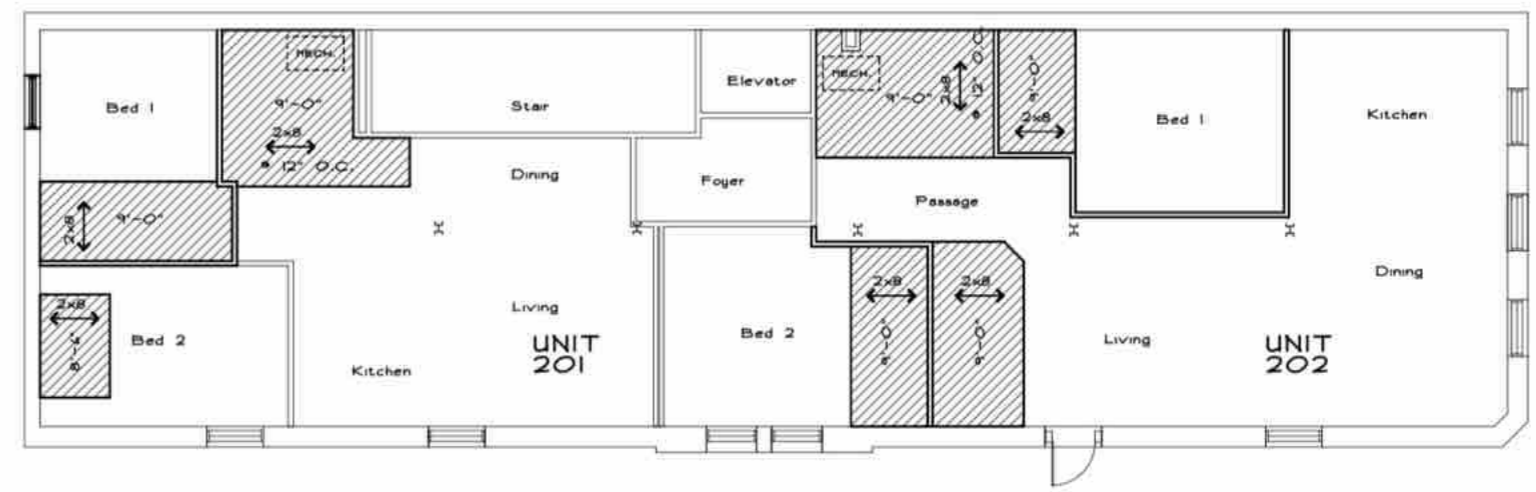
NOTE: MECHANICAL LAYOUT SHOWN IS SCHEMATIC ONLY. DUCT SIZE AND LOCATION TO BE DETERMINED BY MECHANICAL DESIGN / BUILD CONTRACTOR. DUCTWORK IS EXPOSED AND TIGHT TO STRUCTURE ABOVE.

MECHANICAL/ELECTRICAL/PLUMBING/FIRE PROTECTION NOTES:

- MECHANICAL CONTRACTOR SHALL PROVIDE A COM-CHECK FOR HVAC SYSTEM.
- ELECTRICAL CONTRACTOR SHALL PROVIDE A COM-CHECK FOR LIGHTING.
- ALL PLUMBING WASTE SHALL TIE INTO EXISTING WASTE LINES.
- FIRE PROTECTION SPRINKLER SYSTEM SHALL BE NFPA TYPE 13.
- WATER HEATERS IN EACH UNIT ARE PROVIDED BY WALL MOUNTED INSTANT WATER HEATERS.
- CONDENSING UNITS TO BE LOCATED ON EXISTING RACK ON THE ROOF.
- HVAC UNITS SHALL BE 5 TON, 40,000 BTU/HR, 14 SEER PER UNIT PER BUILDING OWNER. MECHANICAL CONTRACTOR SHALL VERIFY UNIT SIZE.

MECH/ELEC LEGEND:

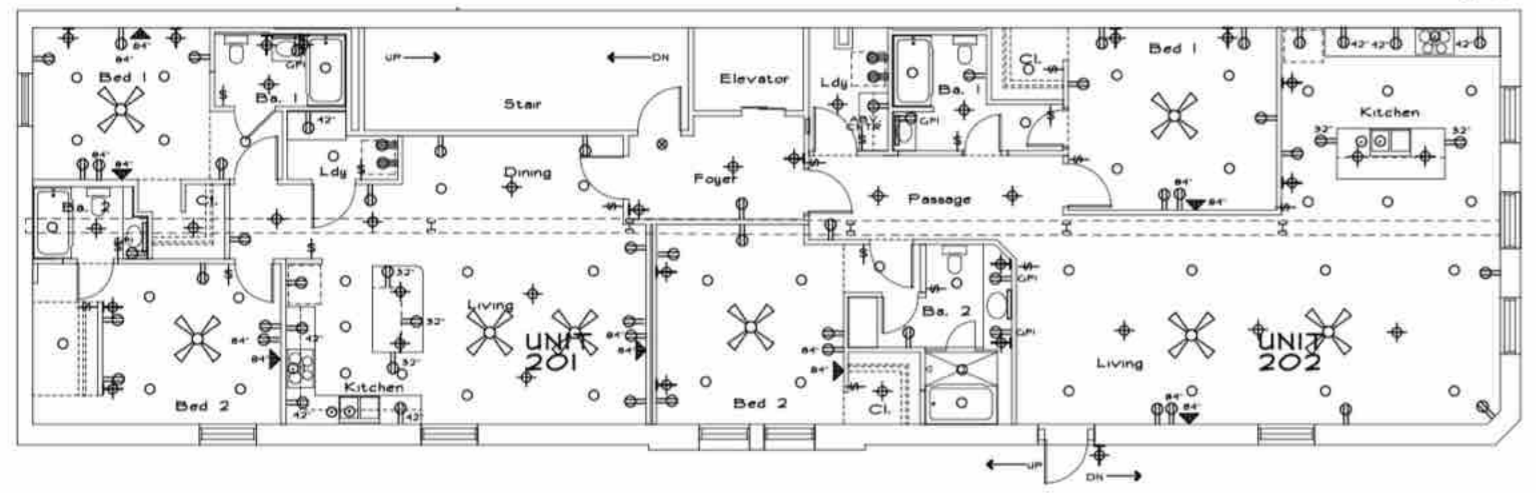
- ⊕ GROUND FAULT INTERCEPT DUPLEX
- ⊙ JUNCTION BOX
- ⊕ PENDANT LIGHT
- CAN LIGHT
- TRACK LIGHT
- OVER MIRROR LIGHT
- ⊕ WALL MTD SCOFF
- ⊕ LIGHT SWITCH
- ⊕ DUPLEX
- ⊕ TV/DATA
- ⊕ CLG SUPPLY
- ⊕ WALL MTD SUPPLY
- ⊕ CLG RETURN
- ⊕ WALL MTD RETURN
- ⊕ EXIT LIGHT
- ⊕ CEILING FAN



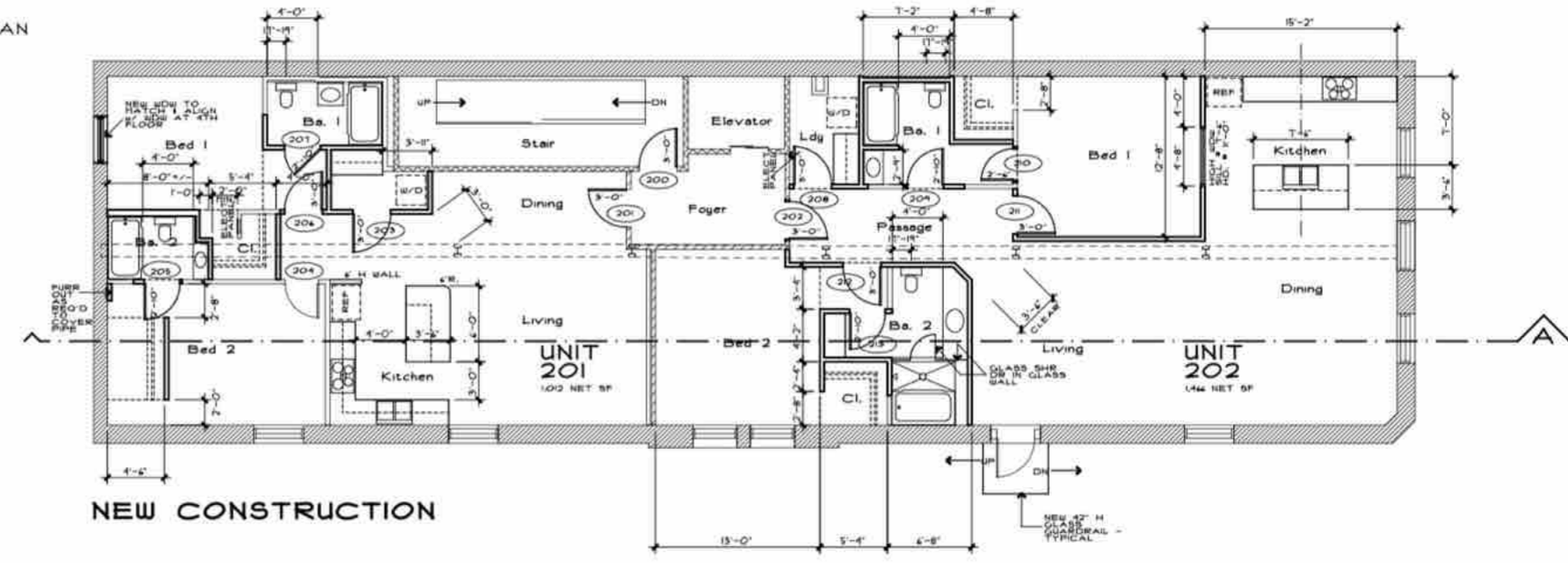
PLATFORM PLAN

FRAMING NOTES:

- ALL PLATFORMS ARE TO BE FRAMED w/ 2x8s @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL PLATFORMS ARE TO BE DECKED WITH 5/8" T & G PLYWOOD, GLUED AND SCREWED.
- UNDERSIDE OF PLATFORMS AT TO BE COVERED WITH 5/8" GYPSUM BOARD.



ELECTRICAL / LIGHTING



NEW CONSTRUCTION

DOOR SCHEDULE NOTE: DOOR HEIGHTS TO BE 7'-0" - UNL. / SEE FLOOR PLAN FOR RATINGS

MARK	SIZE	RATING	HDWL	NOTES
200	3'-0"	40 FIN.	5	
201	3'-0"	45 FIN.	1	
202	3'-0"	45 FIN.	1	
203	3'-0"		4	
204	3'-0"		3	
205	2'-10"		3	
206	3'-0"		3	
207	3'-0"		3	
208	3'-0"		4	
209	2'-10"		3	
210	2'-4"		3	
211	3'-0"		3	
212	3'-0"		3	
213	2'-10"		3	

HARDWARE SETS

- 1 1/2 PR. H.D. B.B. HINGES, SILENCERS, CLOSER, KEYPAD ENTRY
- 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; OFFICE LOCKSET
- 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; PRIVACY LOCKSET
- 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; PASSAGE LOCKSET
- 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; CLOSER, PANIC DEVICE

DOOR SCHEDULE NOTES:

- ALL DOORS TO BE SOLID WOOD FLUSH DOORS
- ALL DOOR FRAME TO BE WOOD UNLESS NOTED OTHERWISE.
- ALL 2'-10" DOORS SHALL PROVIDE 33" CLEAR OPENING WHEN THE DOOR IS AT 90 DEGREES.

SYMBOL LEGEND:

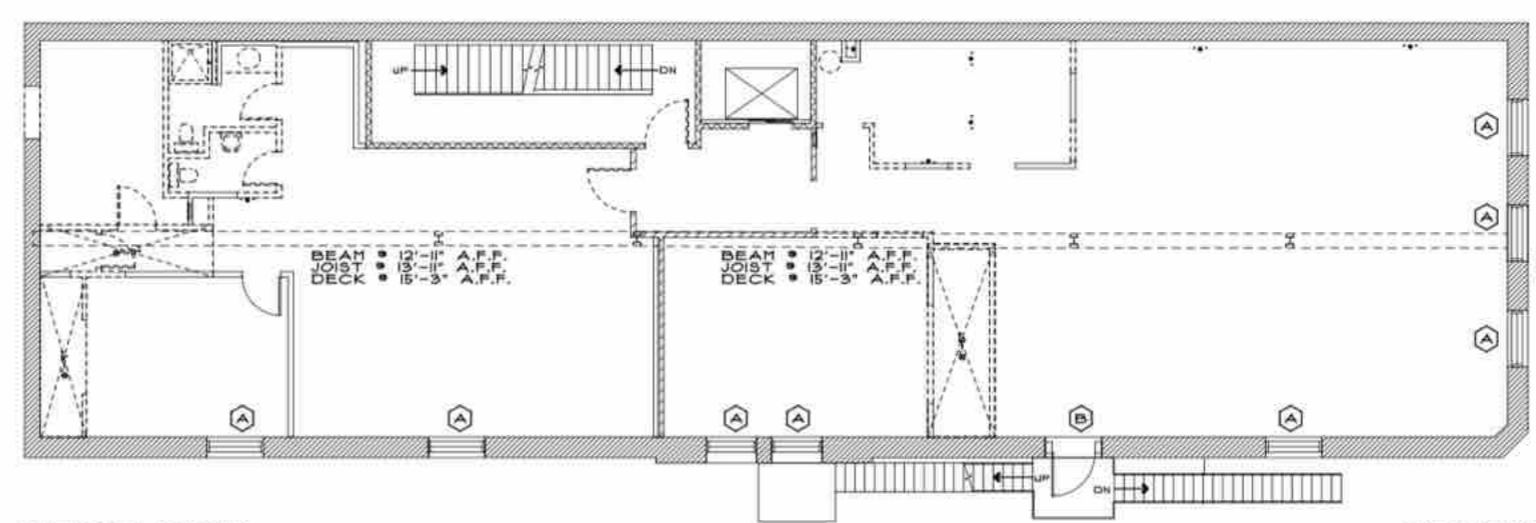
- ⊙ DOOR INDICATION

PARTITION LEGEND:

- EXISTING MASONRY
- EXISTING PARTITION
- EXISTING 2 HR PART.
- EXISTING 1/2 HR PART.
- NEW NON-RAT. PARTITION
- NEW 1/2 HR PARTITION
- NEW 2 HR. PARTITION
- UPGRADED 2 HR PART.
- DEMOLISHED PARTITION

EXISTING CONDITIONS:

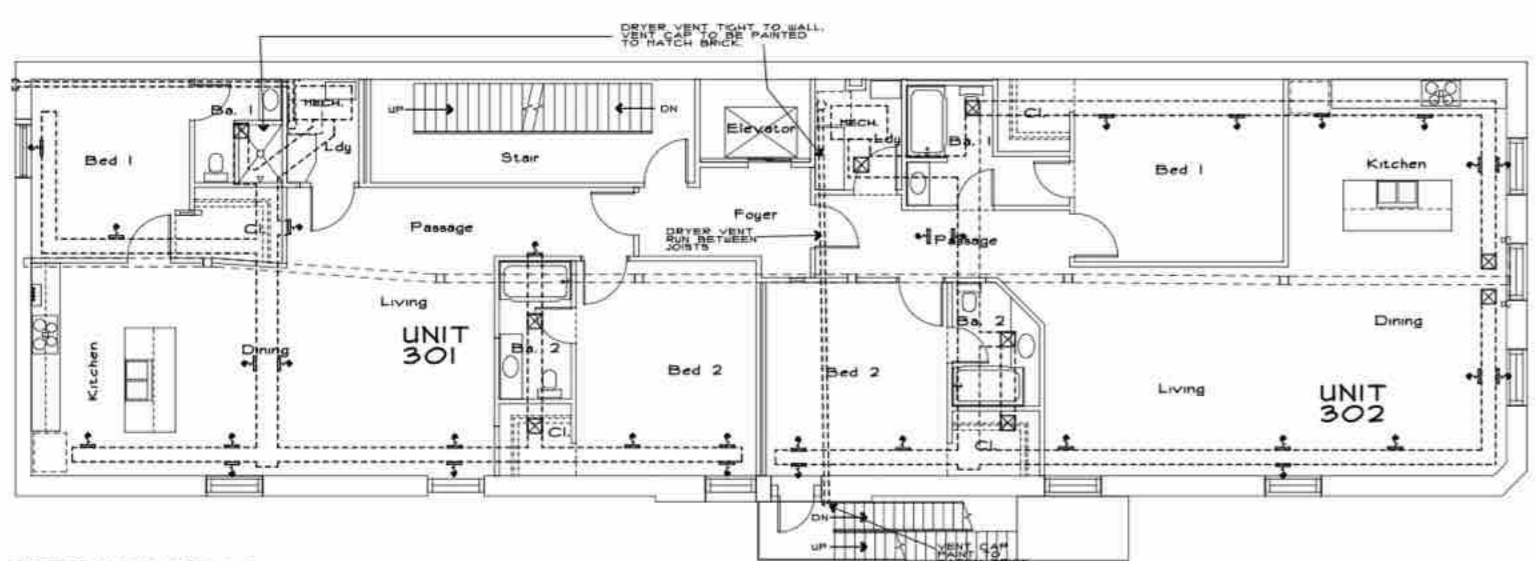
- ⊙ SILL • 1'-8" A.F.F. HEAD • 12'-8" A.F.F.
- ⊙ SILL • 0'-8" A.F.F. HEAD • 12'-8" A.F.F.
- ⊙ SILL • 2'-1" A.F.F. HEAD • 12'-4" A.F.F.
- ⊙ SILL • 1'-4" A.F.F. HEAD • 12'-4 1/2" A.F.F.
- ⊙ SILL • 9'-3" A.F.F. HEAD • 10'-1" A.F.F.
- ⊙ SILL • 3'-5" A.F.F. HEAD • 10'-1 1/2" A.F.F.
- ⊙ SILL • 2'-1" A.F.F. HEAD • 3'-5" A.F.F.
- ⊙ SILL • 2'-9 1/2" A.F.F. HEAD • 2'-9 1/2" A.F.F.
- PLATFORM ABOVE WALLS
- DRAIN PIPING
- WATER PIPING
- ELECTRICAL CONDUIT
- ELECTRICAL BREAKER BOX



DEMOLITION
3,471 SF

SECOND FLOOR PLAN
1/8" = 1'-0"
0 4 8 16 24 FT





MECHANICAL

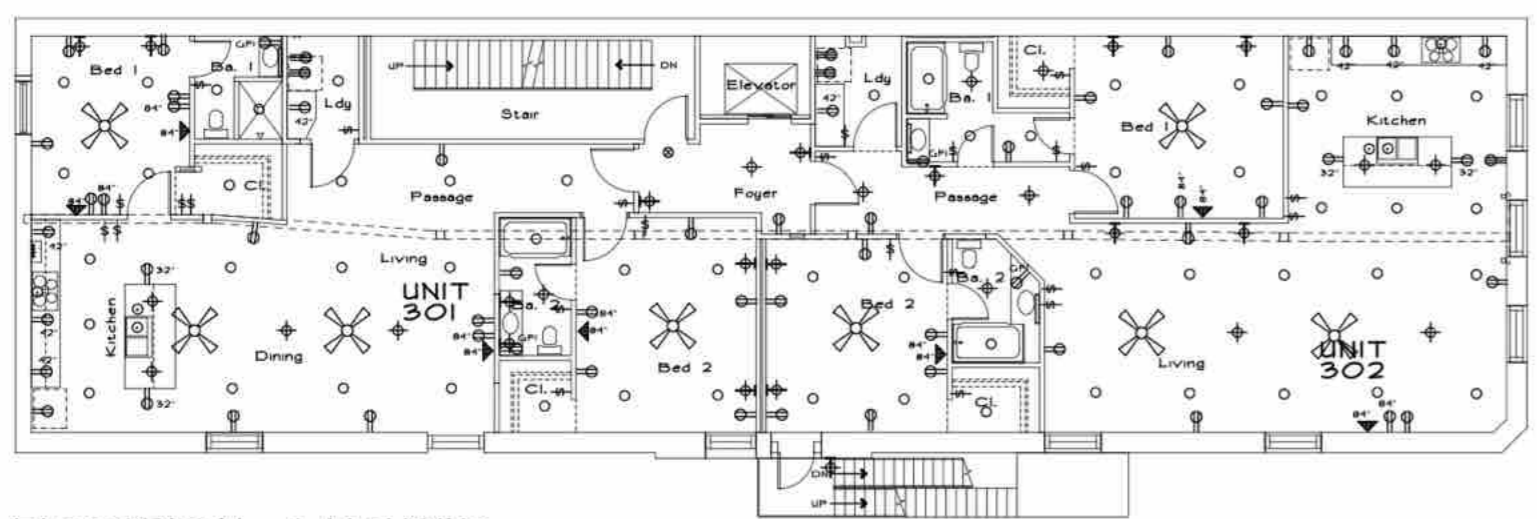
NOTE: MECHANICAL LAYOUT SHOWN IS SCHEMATIC ONLY. DUCT SIZE AND LOCATION TO BE DETERMINED BY MECHANICAL DESIGN / BUILD CONTRACTOR. DUCTWORK IS EXPOSED AND TIGHT TO STRUCTURE ABOVE

MECHANICAL/ELECTRICAL/PLUMBING/FIRE PROTECTION NOTES:

1. MECHANICAL CONTRACTOR SHALL PROVIDE A COM-CHECK FOR HVAC SYSTEM.
2. ELECTRICAL CONTRACTOR SHALL PROVIDE A COM-CHECK FOR LIGHTING.
3. ALL PLUMBING WASTE SHALL TIE INTO EXISTING WASTE LINES.
4. FIRE PROTECTION SPRINKLER SYSTEM SHALL BE NFPA TYPE 13.
5. WATER HEATERS IN EACH UNIT ARE PROVIDED BY WALL MOUNTED INSTANT WATER HEATERS.
6. CONDENSING UNITS TO BE LOCATED ON EXISTING RACK ON THE ROOF.
7. HVAC UNITS SHALL BE 5 TON, 40,000 BTU/HR, 14 SEER PER UNIT PER BUILDING OWNER. MECHANICAL CONTRACTOR SHALL VERIFY UNIT SIZE.

MECH/ELEC LEGEND:

- ⊕ GROUND FAULT INTERCEPT DUPLEX
- ⊙ JUNCTION BOX
- ⊕ PENDANT LIGHT
- CAN LIGHT
- TRACK LIGHT
- OVER MIRROR LIGHT
- ⊕ WALL MTD SCOFF
- ⊕ LIGHT SWITCH
- ⊕ DUPLEX
- ⊕ TV/DATA
- ⊕ CLG SUPPLY
- ⊕ WALL MTD SUPPLY
- ⊕ CLG RETURN
- ⊕ WALL MTD RETURN
- ⊕ EXIT LIGHT
- ⊕ CEILING FAN



ELECTRICAL / LIGHTING

DOOR SCHEDULE				
NOTE: DOOR HEIGHTS TO BE 7'-0" - U.O. / SEE FLOOR PLAN FOR RATINGS				
MARK	SIZE	RATING	HDB	NOTES
300	3'-0"	90 MIN.	5	
301	3'-0"	45 MIN.	1	
302	3'-0"	45 MIN.	1	
303	3'-0"		3	
304	2'-10"		3	
305	3'-0"		4	
306	3'-0"		3	
307	2'-10"		3	
308	3'-0"		4	
309	3'-0"		3	
310	2'-10"		3	
311	3'-0"		3	
312	2'-4"		3	
313	2'-10"		3	

HARDWARE SETS

1. 1 1/2 PR. H.D. B.B. HINGES, SILENCERS, CLOSER, KEYPAD ENTRY
2. 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; OFFICE LOCKSET
3. 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; PRIVACY LOCKSET
4. 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; PASSAGE LOCKSET
5. 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; CLOSER, PANIC DEVICE

DOOR SCHEDULE NOTES:

1. ALL DOORS TO BE SOLID WOOD FLUSH DOORS
2. ALL DOOR FRAME TO BE WOOD UNLESS NOTED OTHERWISE
3. ALL 2'-10" DOORS SHALL PROVIDE 32" CLEAR OPENING WHEN THE DOOR IS AT 90 DEGREES.

SYMBOL LEGEND:

- DOOR INDICATION

PARTITION LEGEND:

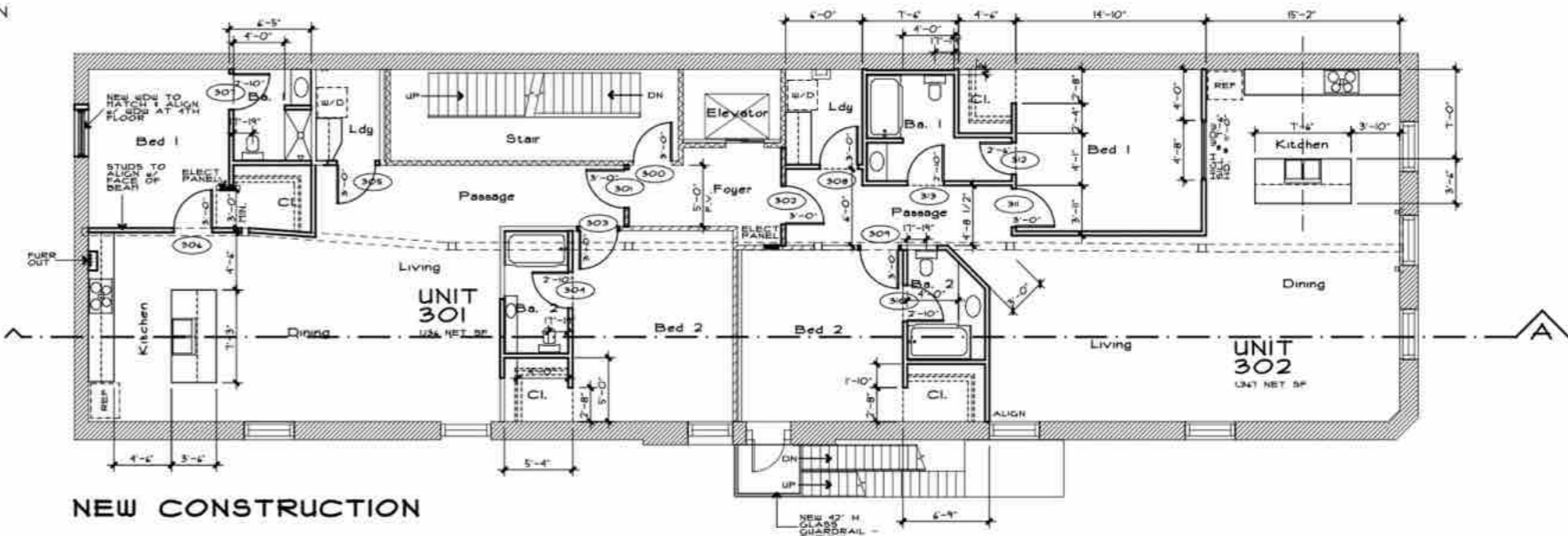
- EXISTING MASONRY
- EXISTING PARTITION
- EXISTING 2 HR PART.
- EXISTING 1/2 HR PART.
- NEW NON-RAT. PARTITION
- NEW 1/2 HR PARTITION
- NEW 2 HR. PARTITION
- UPGRADED 2 HR PART.
- DEMOLISHED PARTITION



PLATFORM PLAN

FRAMING NOTES:

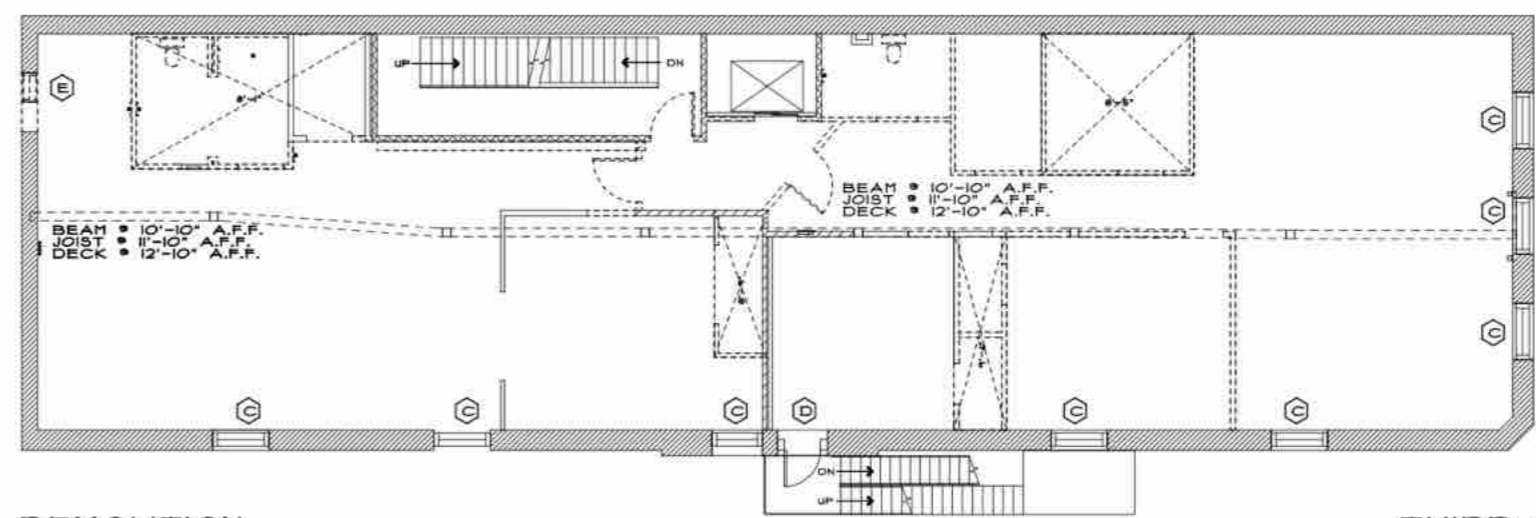
1. ALL PLATFORMS ARE TO BE FRAMED w/ 2x8s @ 16" O.C. UNLESS NOTED OTHERWISE
2. ALL PLATFORMS ARE TO BE DECKED WITH 5/8" T & G PLYWOOD, GLUED AND SCREWED.
3. UNDERSIDE OF PLATFORMS AT TO BE COVERED WITH 5/8" GYPSUM BOARD.



NEW CONSTRUCTION

EXISTING CONDITIONS:

- ⊕ SILL • 1'-8" A.F.F. HEAD • 12'-8" A.F.F.
- ⊕ SILL • 0'-8" A.F.F. HEAD • 12'-8" A.F.F.
- ⊕ SILL • 2'-1" A.F.F. HEAD • 12'-9" A.F.F.
- ⊕ SILL • 1'-4" A.F.F. HEAD • 12'-9 1/2" A.F.F.
- ⊕ SILL • 4'-3" A.F.F. HEAD • 10'-10" A.F.F.
- ⊕ SILL • 3'-5" A.F.F. HEAD • 10'-1 1/2" A.F.F.
- ⊕ SILL • 2'-1" A.F.F. HEAD • 12'-9" A.F.F.
- ⊕ SILL • 2'-9 1/2" A.F.F. HEAD • 12'-9 1/2" A.F.F.
- PLATFORM ABOVE WALLS
- DRAIN PIPING
- WATER PIPING
- ELECTRICAL CONDUIT
- ELECTRICAL BREAKER BOX



DEMOLITION
3,141 SF



THIRD FLOOR PLANS

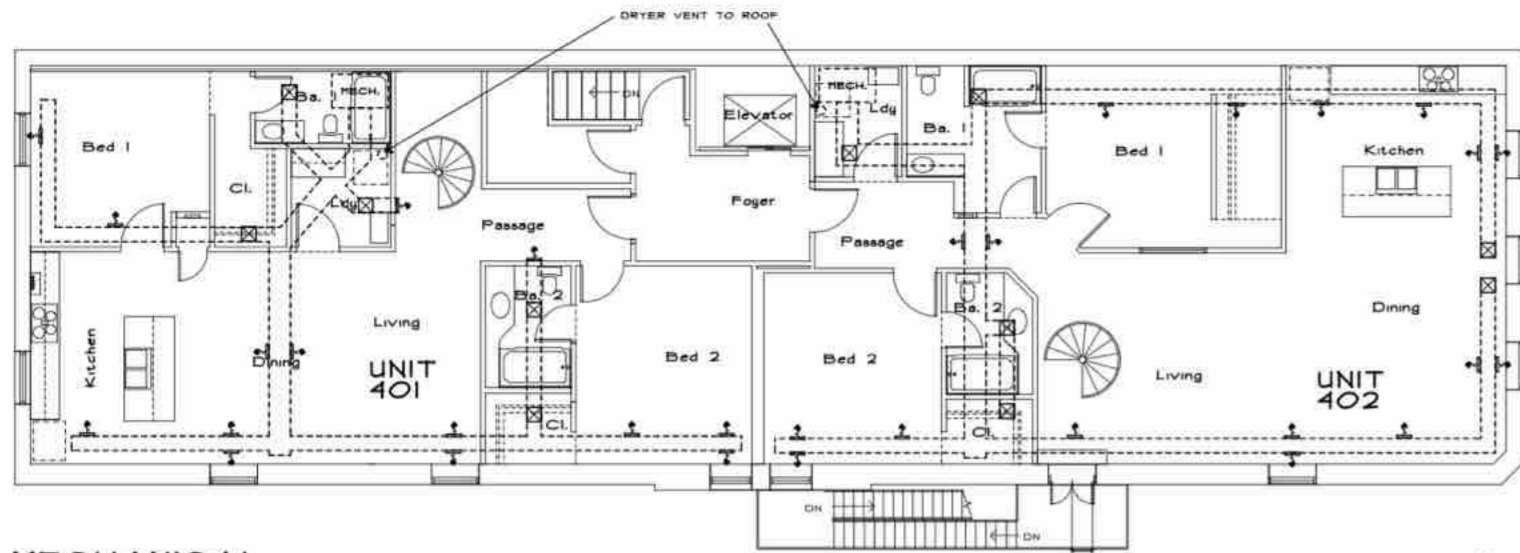
15 AUG 18

A3

5 DEC 18

THIRD FLOOR PLAN

1/8" = 1'-0"
0 4 8 16 24 FT



MECHANICAL

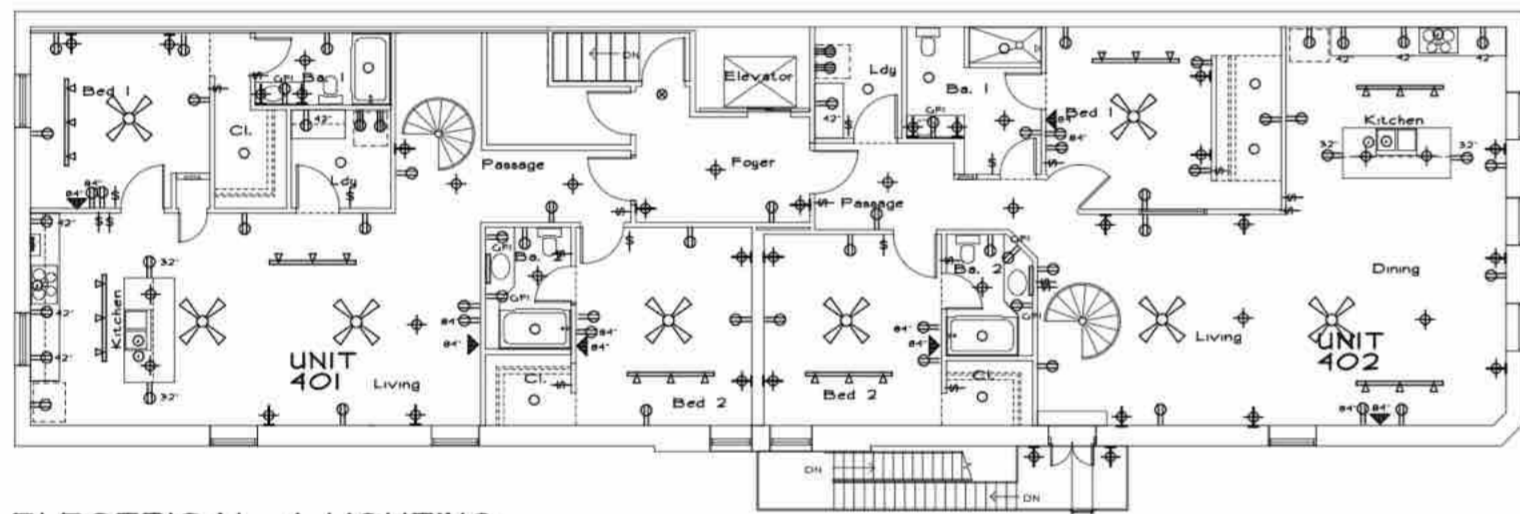
NOTE: MECHANICAL LAYOUT SHOWN IS SCHEMATIC ONLY. DUCT SIZE AND LOCATION TO BE DETERMINED BY MECHANICAL DESIGN / BUILD CONTRACTOR. DUCTWORK IS EXPOSED AND TIGHT TO STRUCTURE ABOVE.

MECHANICAL/ELECTRICAL/PLUMBING/FIRE PROTECTION NOTES:

- MECHANICAL CONTRACTOR SHALL PROVIDE A COM-CHECK FOR HVAC SYSTEM.
- ELECTRICAL CONTRACTOR SHALL PROVIDE A COM-CHECK FOR LIGHTING.
- ALL PLUMBING WASTE SHALL TIE INTO EXISTING WASTE LINES.
- FIRE PROTECTION SPRINKLER SYSTEM SHALL BE NFPA TYPE 13.
- WATER HEATERS IN EACH UNIT ARE PROVIDED BY WALL MOUNTED INSTANT WATER HEATERS.
- CONDENSING UNITS TO BE LOCATED ON EXISTING RACK ON THE ROOF.
- HVAC UNITS SHALL BE 5 TON, 40,000 BTU/HR, 14 SEER PER UNIT PER BUILDING OWNER. MECHANICAL CONTRACTOR SHALL VERIFY UNIT SIZE.

MECH/ELEC LEGEND:

- ⊕ GROUND FAULT INTERCEPT DUPLEX
- ⊖ JUNCTION BOX
- ⊕ PENDANT LIGHT
- CAN LIGHT
- TRACK LIGHT
- OVER MIRROR LIGHT
- ⊕ WALL MTD SCENCE
- ⊕ LIGHT SWITCH
- ⊕ DUPLEX
- ⊕ TV/DATA
- ⊕ CLG SUPPLY
- ⊕ WALL MTD SUPPLY
- ⊕ CLG RETURN
- ⊕ WALL MTD RETURN
- ⊕ EXIT LIGHT
- ⊕ CEILING FAN



ELECTRICAL / LIGHTING

DOOR SCHEDULE NOTE: DOOR HEIGHTS TO BE 7'-0" - U.N.O. / SEE FLOOR PLAN FOR RATINGS

MARK	SIZE	RATING	HDB	NOTES
400	3'-0"	40 MIN.	5	
401	3'-0"	45 MIN.	1	
402	3'-0"	45 MIN.	1	
403	3'-0"		2	
404	3'-0"		3	
405	2'-10"		3	
406	3'-0"		4	
407	2'-0"		4	
408	3'-0"		3	
409	2'-10"		3	
410	3'-0"		3	
411	2'-10"		3	
412	3'-0"		3	
413	2'-10"		3	
414	2'-0"		3	
415	3'-0"		4	
501	3'-0"		1	H.M. INSUL. EXT. DOOR w/ H.M. FRAME
502	3'-0"		1	H.M. INSUL. EXT. DOOR w/ H.M. FRAME

HARDWARE SETS

- 1 1/2 PR. H.D. B.B. HINGES, SILENCERS, CLOSER, KEYPAD ENTRY
- 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; OFFICE LOCKSET
- 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; PRIVACY LOCKSET
- 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; PASSAGE LOCKSET
- 1 1/2 PR B.B. HINGES; SILENCERS; WALL STOP; CLOSER, PANIC DEVICE

DOOR SCHEDULE NOTES:

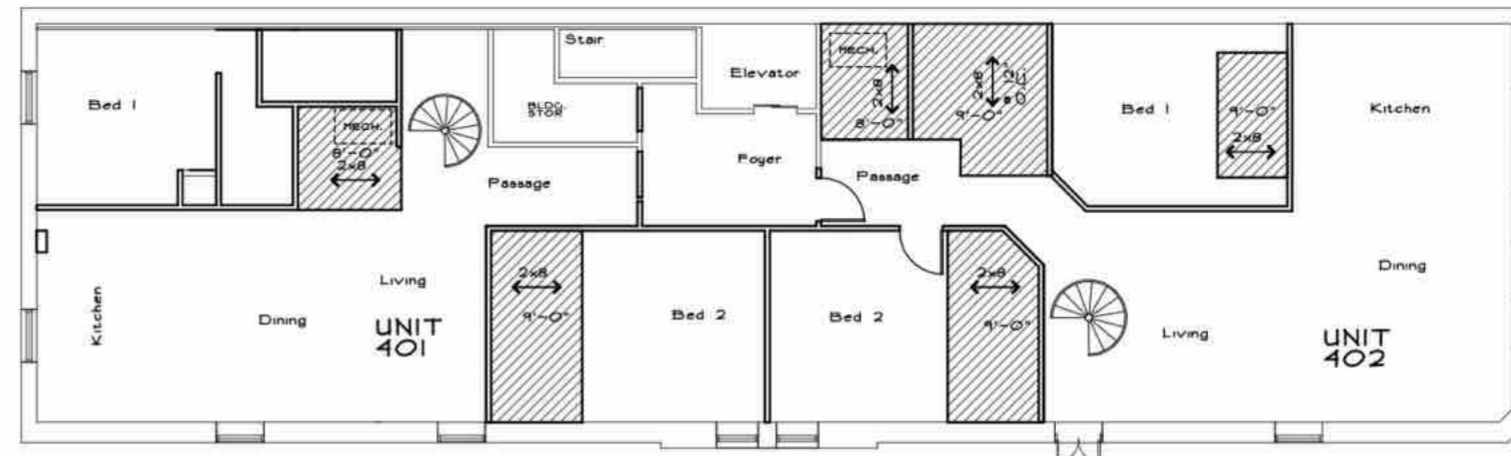
- ALL DOORS TO BE SOLID WOOD FLUSH DOORS
- ALL DOOR FRAME TO BE WOOD UNLESS NOTED OTHERWISE
- ALL 2'-10" DOORS SHALL PROVIDE 32" CLEAR OPENING WHEN THE DOOR IS AT 90 DEGREES.

SYMBOL LEGEND:

- ⊕ DOOR INDICATION

PARTITION LEGEND:

- EXISTING MASONRY
- EXISTING PARTITION
- EXISTING 2 HR PART.
- EXISTING 1/2 HR PART.
- NEW NON-RAT. PARTITION
- NEW 1/2 HR PARTITION
- NEW 2 HR. PARTITION
- UPGRADED 2 HR PART.
- DEMOLISHED PARTITION



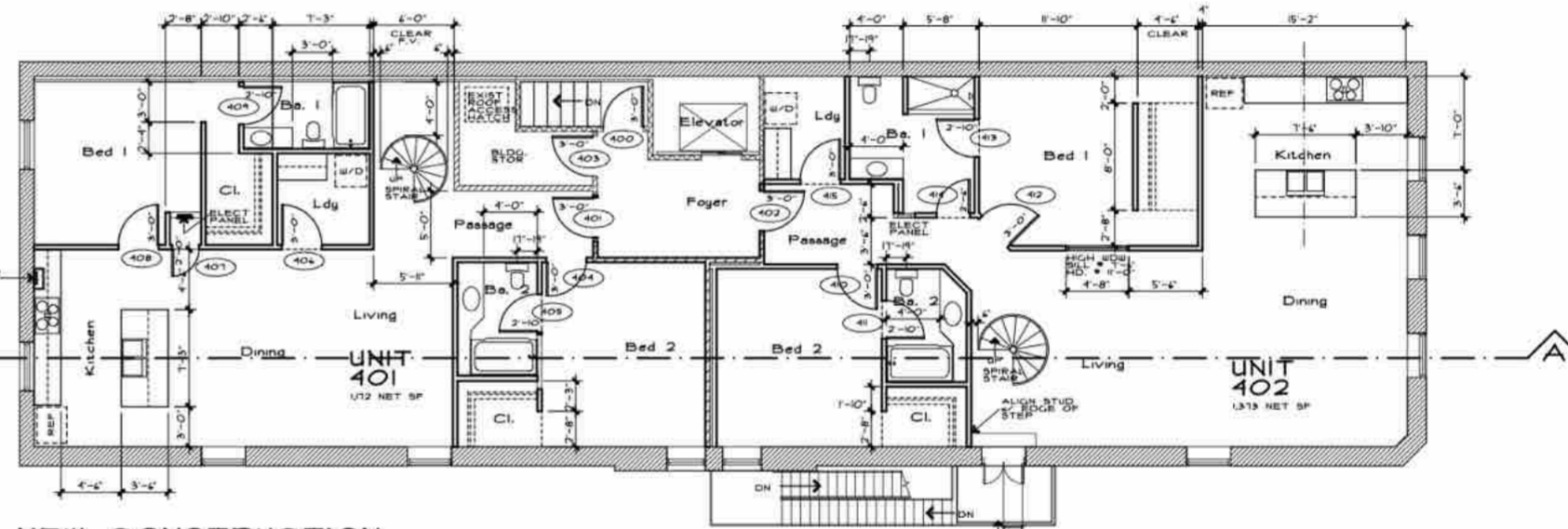
PLATFORM PLAN

FRAMING NOTES:

- ALL PLATFORMS ARE TO BE FRAMED w/ 2x8s @ 16" O.C. UNLESS NOTED OTHERWISE
- ALL PLATFORMS ARE TO BE DECKED WITH 5/8" T & G PLYWOOD, GLUED AND SCREWED.
- UNDERSIDE OF PLATFORMS AT TO BE COVERED WITH 5/8" GYPSUM BOARD.

SPIRAL STAIR NOTES:

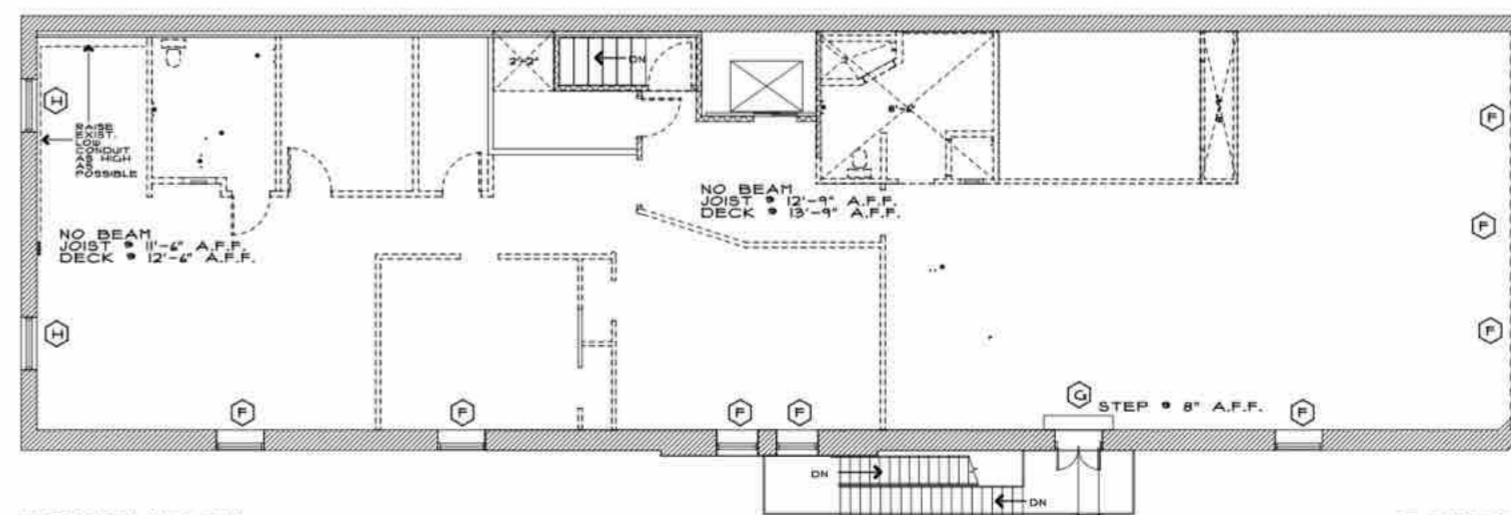
IBC 2012 - 1009.12 - A SPIRAL STAIRWAY SHALL HAVE A 1 1/2" MINIMUM CLEAR TREAD DEPTH AT A POINT 12 INCHES FROM THE NARROW EDGE. THE RISERS SHALL BE SUFFICIENT TO PROVIDE A HEADROOM OF 18 INCHES MINIMUM, BUT RISER HEIGHT SHALL NOT BE MORE THAN 9 1/2". THE MINIMUM STAIRWAY CLEAR WIDTH AT AND BELOW THE HANDRAIL SHALL BE 26 INCHES. PROVIDE A MINIMUM 18 INCHES HEADROOM CLEARANCE.



NEW CONSTRUCTION

EXISTING CONDITIONS:

- ⊕ SILL * 1'-8" A.F.F. HEAD * 12'-8" A.F.F.
- ⊕ SILL * 2'-1" A.F.F. HEAD * 12'-9" A.F.F.
- ⊕ SILL * 1'-4" A.F.F. HEAD * 2'-4 1/2" A.F.F.
- ⊕ SILL * 0'-8" A.F.F. HEAD * 12'-8" A.F.F.
- ⊕ SILL * 4'-3" A.F.F. HEAD * 10'-10" A.F.F.
- ⊕ SILL * 3'-5" A.F.F. HEAD * 10'-1 1/2" A.F.F.
- ⊕ SILL * 2'-1" A.F.F. HEAD * 12'-4" A.F.F.
- ⊕ SILL * 3'-5" A.F.F. HEAD * 2'-4 1/2" A.F.F.
- ⊕ PLATFORM ABOVE WALLS
- ⊕ DRAIN PIPING
- ⊕ WATER PIPING
- ⊕ ELECTRICAL CONDUIT
- ⊕ ELECTRICAL BREAKER BOX



DEMOLITION
3,141 SF



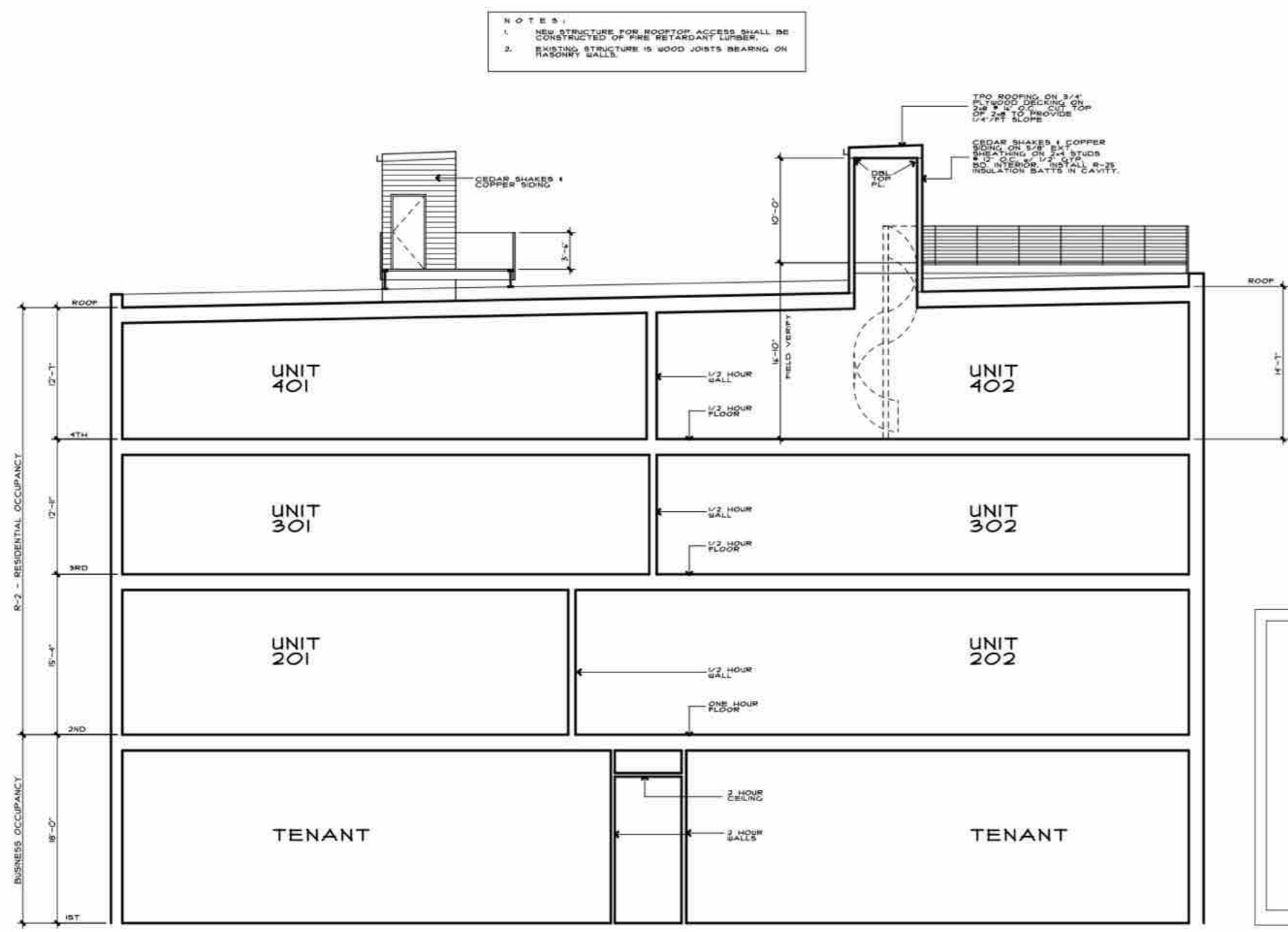
15 AUG 18

A4

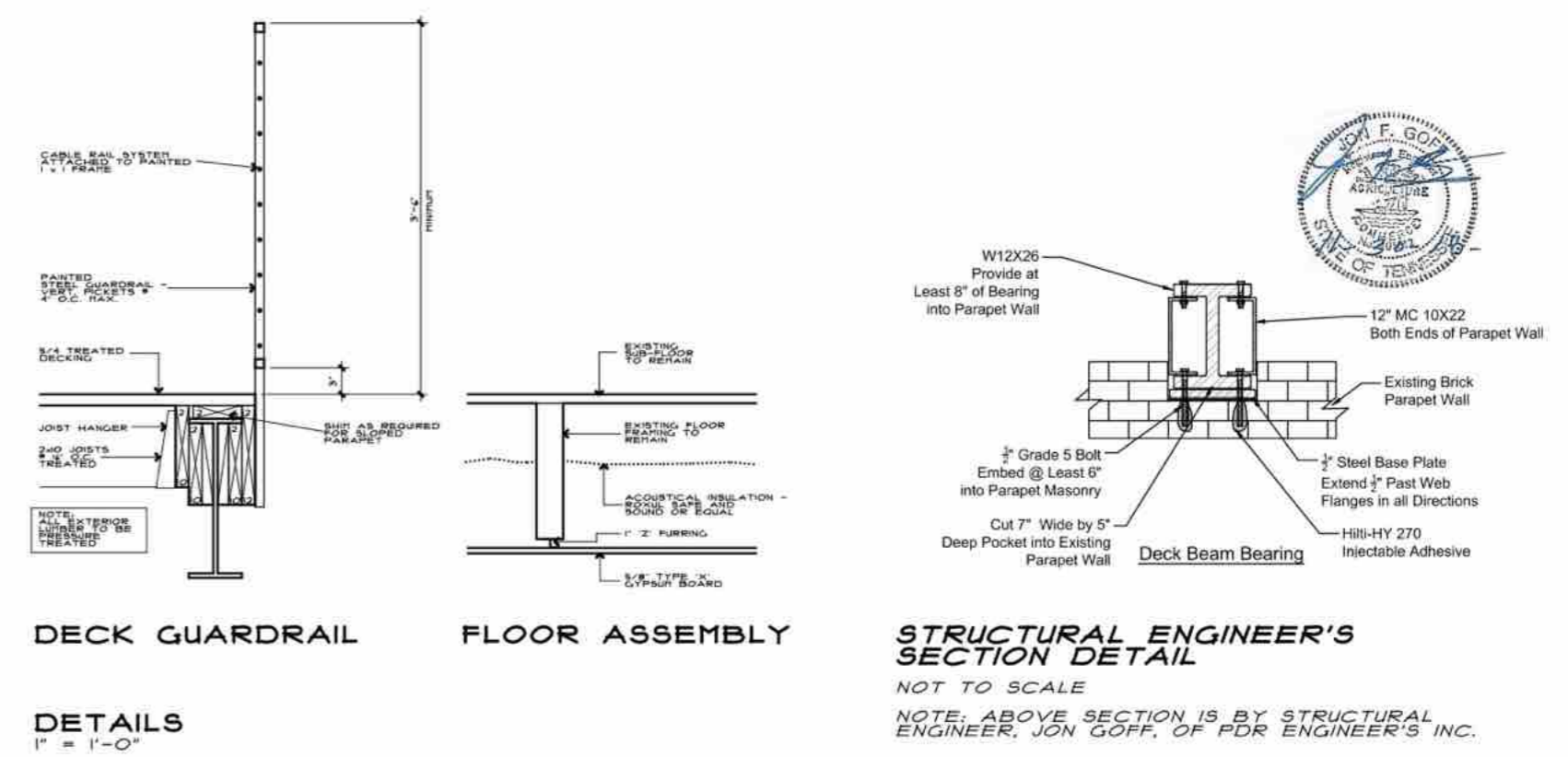
5 DEC 18

FOURTH FLOOR PLAN

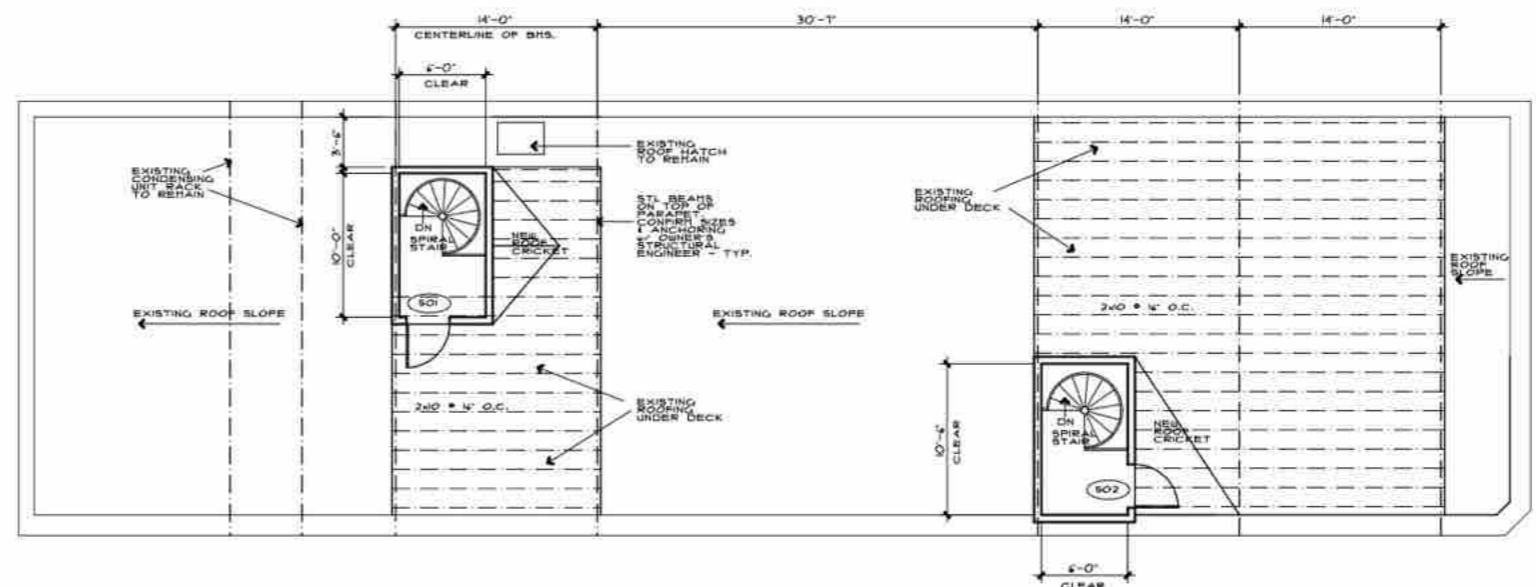
1/8" = 1'-0"
0 4 8 16 24 FT



SCHEMATIC SECTION

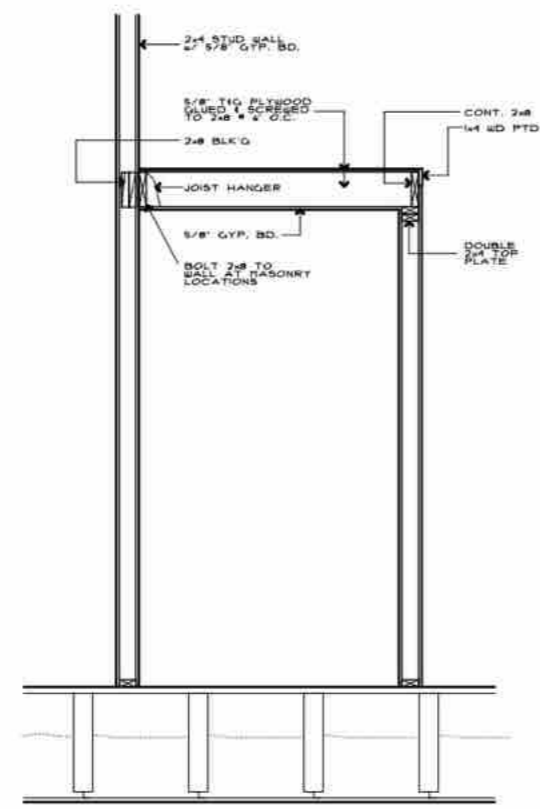


STRUCTURAL ENGINEER'S SECTION DETAIL
NOT TO SCALE
NOTE: ABOVE SECTION IS BY STRUCTURAL ENGINEER, JON GOFF, OF PDR ENGINEERS, INC.

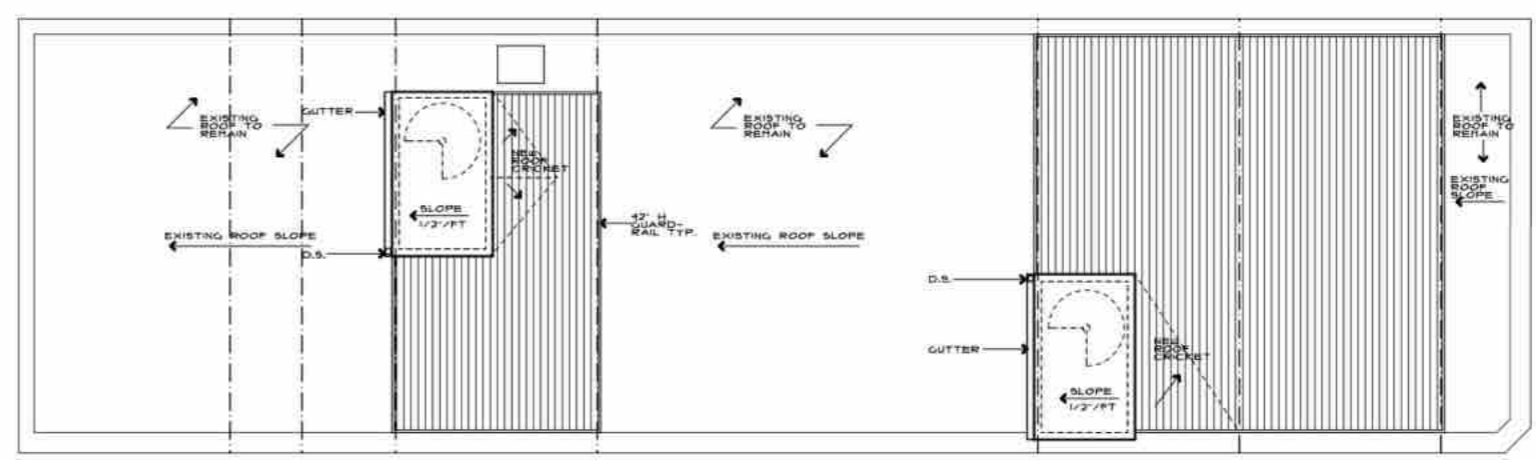


NEW CONSTRUCTION ROOF PLAN

NOTE: ALL BEAMS SHALL BE W12X26 PER STRUCTURAL ENGINEER, JON GOFF, OF PDR ENGINEERS, INC.



PLATFORM SECTION
1/2" = 1'-0"

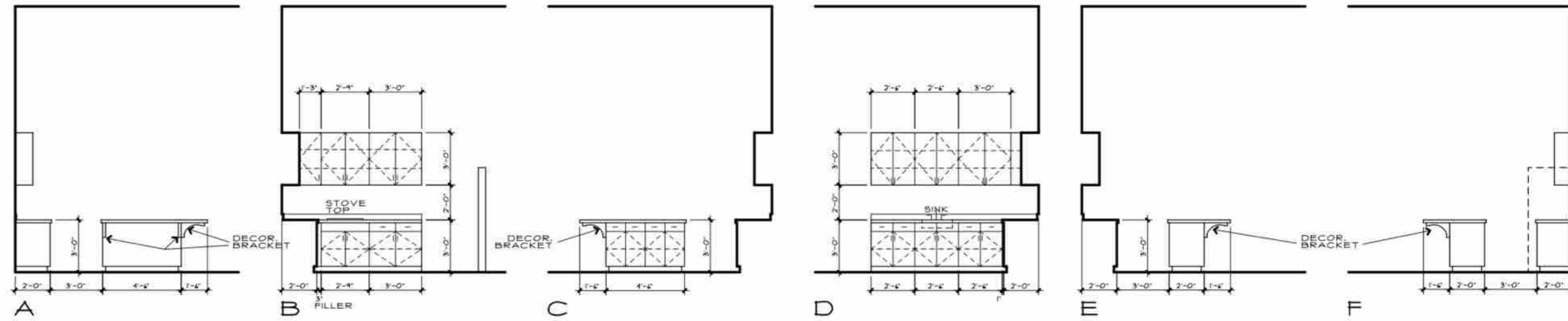
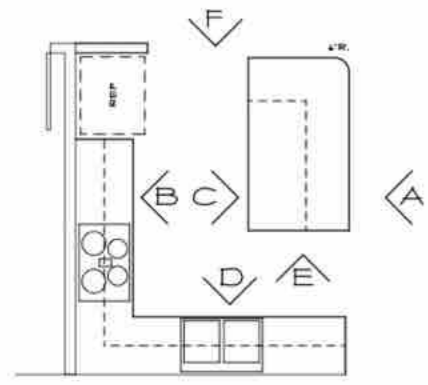


ROOF PLAN

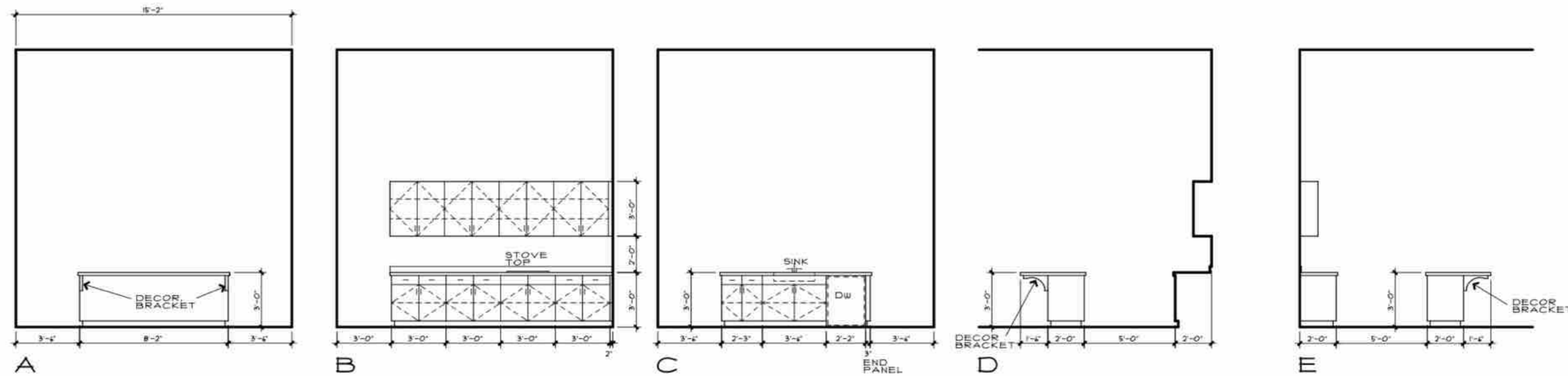
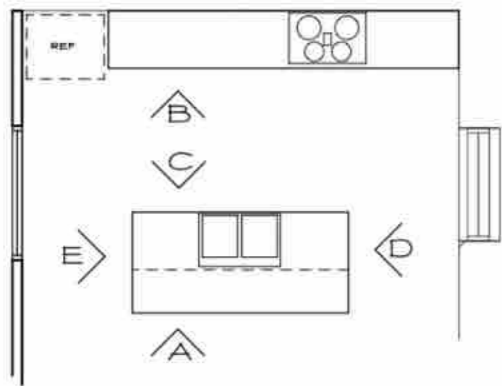
ROOF PLAN, SCHEMATIC SECTION
1/8" = 1'-0"
0 4 8 16 24 FT



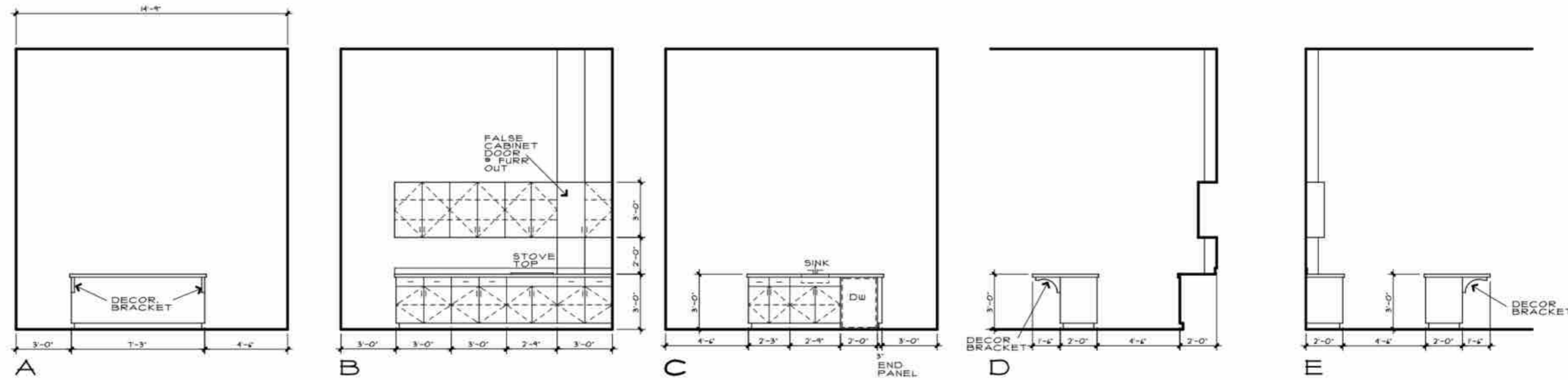
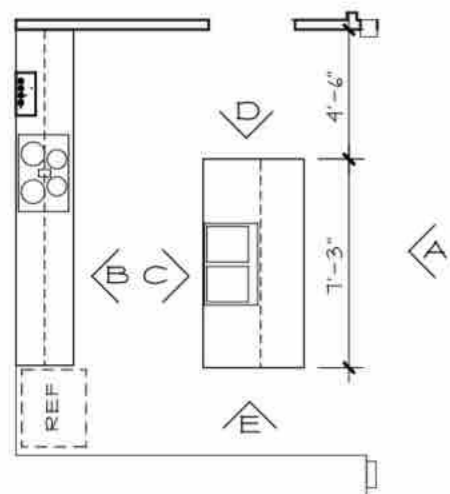
UNIT 201
Kitchen



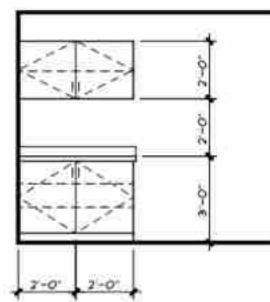
UNIT 202, 302 & 402
Kitchen



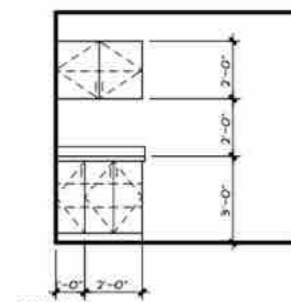
UNIT 301 & 401
Kitchen



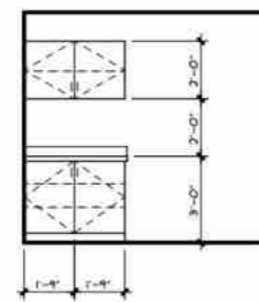
UNIT 201, 202,
401 & 402
Laundry



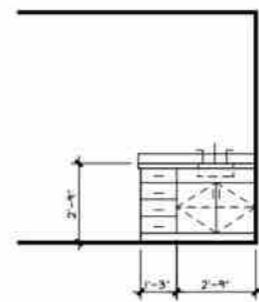
UNIT 301
Laundry



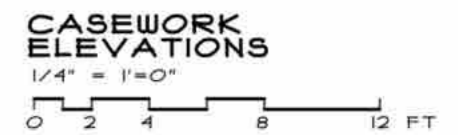
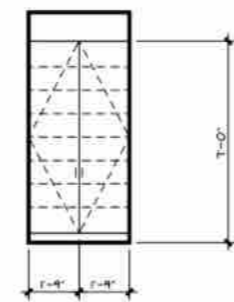
UNIT 302
Laundry



UNIT 401 & 402
Bath 1 OTHER BATHS SIMILAR



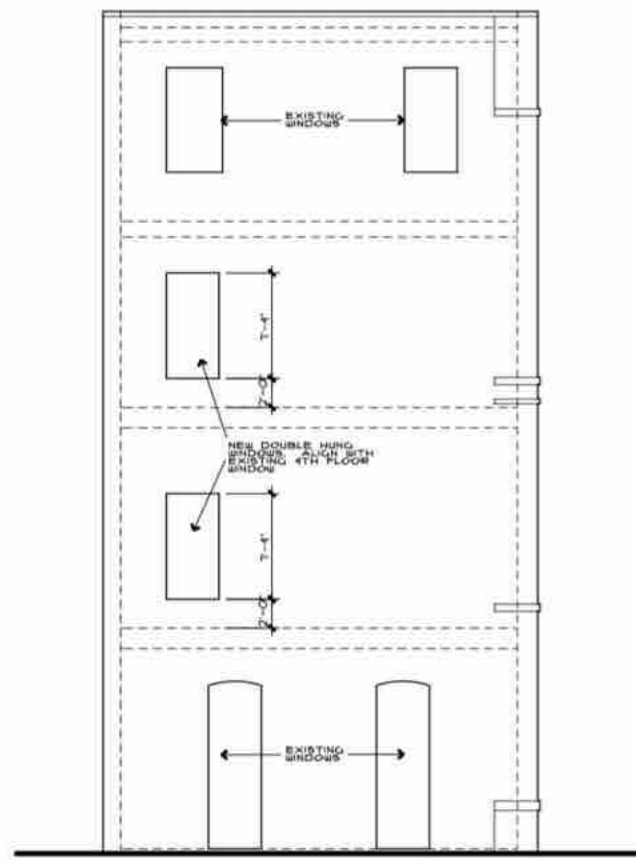
UNIT 202
Bath 2 Cabinet



15 AUG 18

A6

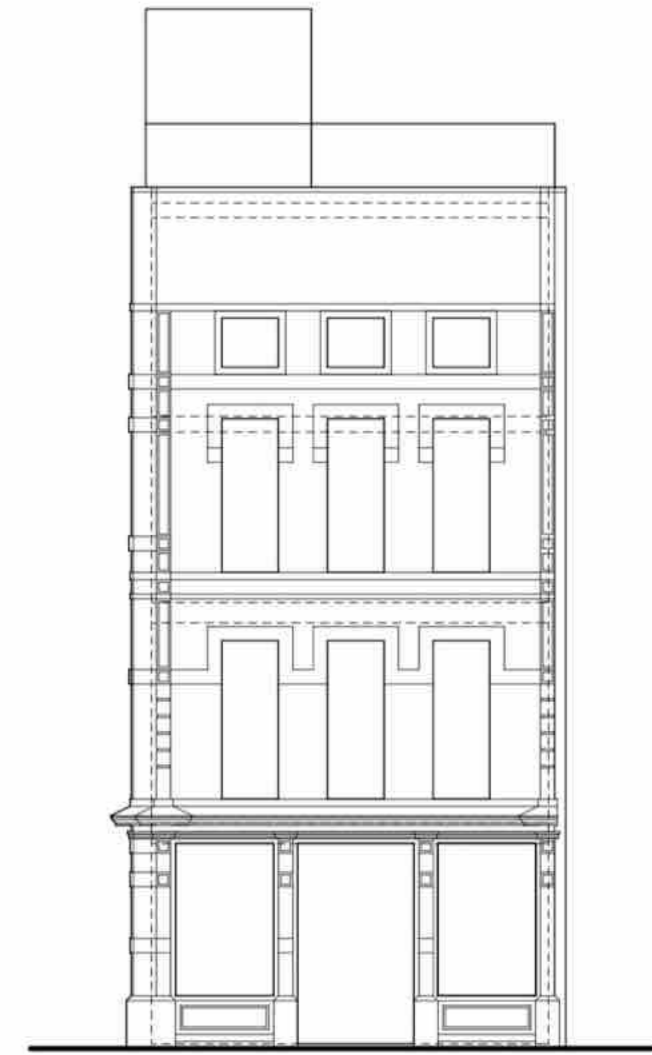
5 DEC 18



R E A R



S I D E



F R O N T

1st - 4th Floors - Renovations
 200 Church Street
 Nashville, Tennessee

DEREK A. LEIGH
 ARCHITECT



BUILDING ELEVATIONS

5 NOV 18

A 1

5 DEC 18

BUILDING ELEVATIONS
 1/8" = 1'-0"
 0 4 8 16 24 FT

Metropolitan Government of Nashville and Davidson County
Department of Codes and Building Safety

Site Address: 201 2ND AVE N NASHVILLE, TN 37201

Permit #: 2018049568

BUILDING PERMIT

Inclusive of Permits for New Construction, Additions, Renovations or Repairs

Issue Date: January 2, 2019

Parcel: 09302400900

Contractor: UPPERLINE CONSTRUCTION COMPANY

NOTICE

No work may be done on any part of a building or structure beyond the point indicated by each of the required inspections. This permit card must be posted securely, be visible from the street, and protected from the weather. Removal, alteration, or mutilation of this sign until completion of such work is in violation of the law.

All inspections required by this permit must be completed prior to issuance of Use & Occupancy Certificate.

Any building permit issued shall become invalid unless the work authorized by it shall have been commenced within six (6) months after the date of issuance, or if the work authorized by such permit is suspended or abandoned for a period of one (1) year after its issuance provided that for cause, if work authorized by it is sufficiently under way and is being diligently pursued, one or more extensions of time, for periods not exceeding ninety (90) days, may be allowed in writing by the Director.

Keep Job Sites Clean and Safe.

Inspection Scheduling

E-Permit Inspection Scheduling

For registered contractors that use our E-Permit System login using your username and password to epermits.nashville.gov to schedule an inspection.

To become an E-Permit user and acquire a username/password for your company, email your company information to PermitIssuance@nashville.gov

E-PERMIT IS ONLY AVAILABLE FOR REGISTERED LICENSED CONTRACTORS

Inspection Scheduling by Phone(IVR Discontinued)

To schedule an inspection by phone have your Metro permit number ready for each job before calling our offices to request an inspection.

7:30 AM UNTIL 4:00 PM, MONDAY - FRIDAY

Building Inspections	(615) 862-6550	Urban Forestry	(615) 862-6488
Electrical Inspections	(615) 862-6560	Property Standards Inspections	(615) 862-6590
Plumbing Inspections	(615) 862-6570	Fire Marshal Inspections	(615) 862-5230
	Gas/Mechanical Inspections	(615)862-6570	
Fax Number For Inspection Division	(615) 862-6499	Fax Number For Zoning & Permits	(615) 862-6514

February 12, 2021

Ms. Robin Ziegler
Mr. Paul Hoffman
Metro Historic Commission
3000 Granny White Pike
Nashville, Tennessee 37204

**RE: ACCESS ROOMS ON THE ROOF
200 CHURCH STREET/201 2ND AVENUE NORTH**

Dear Ms. Zeigler and Mr. Hoffman:

Below is a summary that we want to present it to you and the commission based upon information we have received since the Christmas Day bombing.

Scope of the work:

Two access rooms above the spiral stairs landings were constructed in accordance with the drawings prepared by Derek Leigh, AIA and approved by Metro Codes Department permit No 2018049568. The size of the access rooms are 6x10 feet. No work on siding has been performed. The drawings show elevation and plan of rooftop access.

Apparently these drawings were not transmitted to the Historical Commission as the building footprint remained the same and no exterior work (other than rooftop access and deck) was proposed.

- Exhibit 1- portion of sheet 7 showing plan of proposed access.
- Exhibit 2 - code summary from permitted drawing.
- Exhibit 3 - approval required for building permit.

Recent Determination:

We were recently contacted by you regarding the two access rooms and how to become compliant. We walked with you on the rooftop to assess the constructed access rooms and the railings.

Based on this walk through:

Access room 1 in the back of the building is compliant. We prefer a siding consisting of copper (change to patina) on the lower half and natural cedar shakes in upper part. This is what is shown in the current drawings. As you know the access room is 60 feet from the street level and not visible to pedestrians. We wanted for it to look upscale as well as historical to people on the rooftop.

Access room two does not meet the requirements of 20 feet from secondary street (Church Street). This access room cannot be moved as it is situated on top of spiral stairs. We are requesting the Commission to permit us to keep this room as constructed. The access room and the adjoining railing is on the side where it faces the non-historic ATT building. Because of the size of the ATT building, the room's visibility is limited. We are willing to put any siding you recommend but again please consider copper/natural cedar shake as a historical and upscale look.

- Exhibit 4- Spiral stair under the access room.
- Exhibit 5- Railing and rooms with ATT building in background.

An issue regarding the reconstruction of parapet wall and cornice was also raised.

We investigated the historical nature of construction and determined that building was previously three stories. The fourth story was added about 50 years ago. A prior roof line is visible in the interior of 4th floor (roof flashing and tar line).

It appears that the existing parapet wall was constructed after this addition 30-50 years ago on top of exterior wall. Now this parapet supports the roof membrane. The exterior wall appears to be weak with deteriorated mortar and will not support additional weight of cornice etc.

- Exhibit 6- Existing parapet and weakened underlying brick, mortar and wood.

With uncovered bomb damage of 250,000 and increased property tax, it is extremely difficult to undergo such changes.

In summary, we request permitting of both access rooms. We are willing to change the siding or block the side that is visible from Church Street through planters, design, brick pattern, wood etc.

Sincerely



A. K. Upadhyaya, Ph.D., PE, CIH

U2 PARTNERS

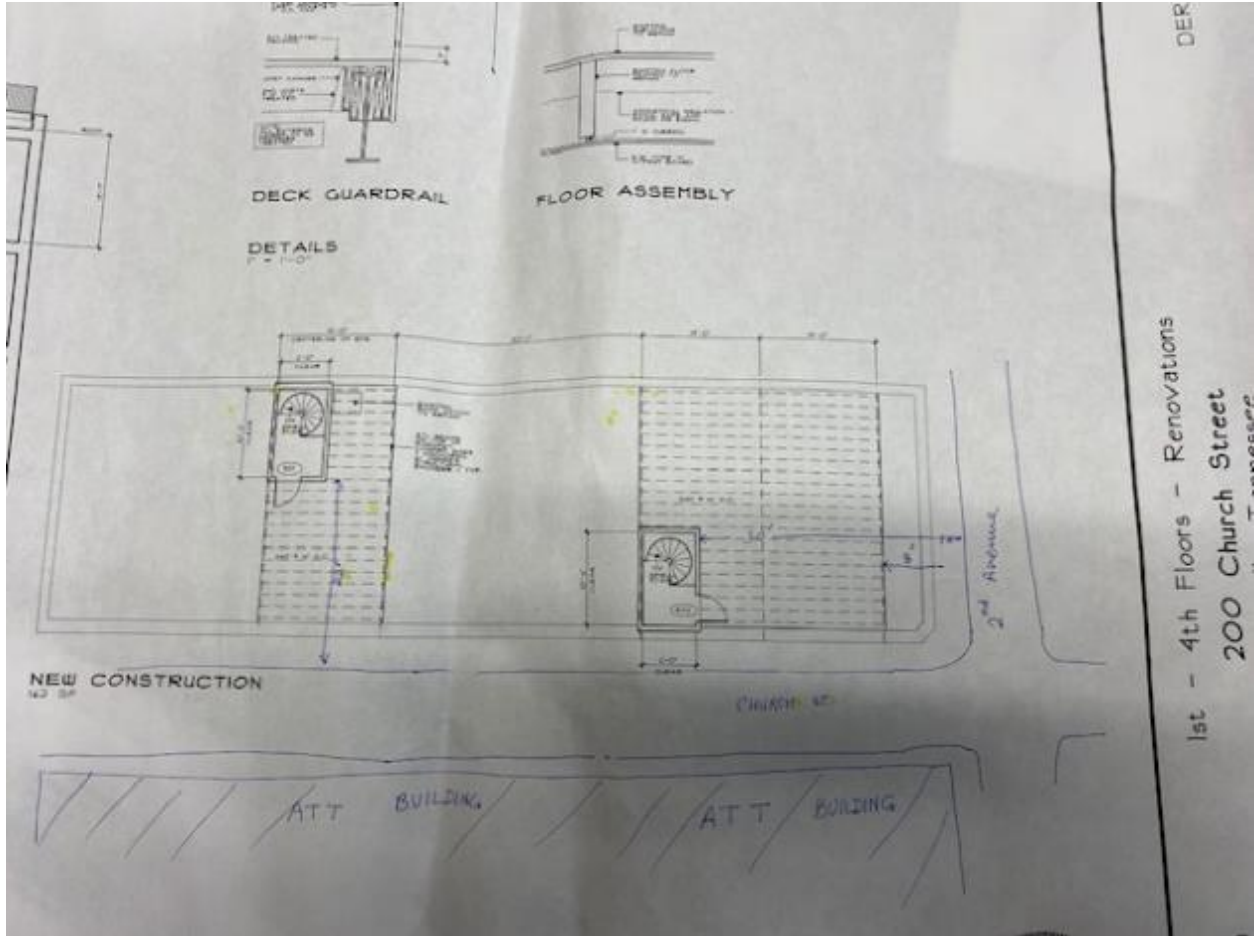


Exhibit 1
Portion of sheet 7 showing plan of proposed access

CODE SUMMARY:

SCOPE OF WORK: BUILD-OUT 3,165 SF/FLR OF SHELL SPACE IN AN EXISTING FOUR-STORY HISTORIC BUILDING TO CREATE APARTMENT UNITS (2nd - 4th FLOORS).

OCCUPANCY CLASSIFICATION: RESIDENTIAL
GROUP R-2 (APARTMENTS)
TYPE 'B' UNITS

EXISTING BUILDING = TYPE III B, FULLY SPRINKLED (NOTE: BUILDING WILL BE FULLY SPRINKLED AT THE COMPLETION OF THE PROJECT)

EXISTING STAIRS ARE 2 HOUR CONSTRUCTION WITH NEW 90 MIN DOORS AND FRAMES. UPGRADE EXISTING STAIR SHAFT & ELEVATOR SHAFT AS REQUIRED FOR TWO HOUR CONSTRUCTION.

EXISTING BASEMENT IS NON-OCCUPIED SPACE FOR ELEVATOR ROOM & PIT AND UTILITY ACCESS ONLY.

NEW STRUCTURES FOR ROOFTOP ACCESS TO BE CONSTRUCTED OF FIRE RETARDANT LUMBER.

ALL EXISTING AND NEW WINDOWS ARE OPERABLE.

INDEX TO DRAWINGS:

ARCHITECTURAL:

- A1 COVER / 1ST FLOOR PLANS
- A2 2ND FLOOR PLANS
- A3 3RD FLOOR PLANS
- A4 4TH FLOOR PLANS

Exhibit 2

Code summary from permitted drawing



**Metropolitan Government
of Nashville and Davidson County, Tennessee**
Department of Codes and Building Safety
 800 Second Avenue South, Nashville, TN 37210



BUILDING COMMERCIAL - REHAB / CACR - T2018049568
Permit Tracking Checklist

PARCEL: 09302400900 **APPLICATION DATE:** 08/20/2018 **PERMIT TRACKING #:** 3547363
SITE ADDRESS:
 201 2ND AVE N NASHVILLE, TN 37201
 PT LOT 26 ORIG TOWN OF NASH
PARCEL OWNER: UPADHYAYA, AJEYA K. & VIJAY K. **CONTRACTOR:** 615-862-8781
APPLICANT:

bonnie.cremby @ nashville gov
Melissa.Williams @ nashville.gov

PURPOSE:

to conduct interior renovations to 2-4th floor to convert to 6 apartment units. no change to exterior or footprint.
 ***PURSUANT TO ORDINANCE NO 2008-1263 of the Metropolitan Code of Laws, I, holder of this permit, hereby certify that all construction and demolition waste generated by any and all activities governed by this permit shall be disposed of in an approved landfill. Further, I certify that no construction or demolition waste shall be stored on the property in violation of any provisions of the Metropolitan Code. For every 30 feet of street frontage, or fraction thereof, one 2 inch caliper tree as listed in the Urban Forestry approved tree list shall be planted on the subject property.*

Before a Building Permit can be issued for this project, the following approvals are required.

[A] Zoning Review		
[B] Building Plans Received	PAPERPLANS	615-862-6581 Teresa.Patterson@nashville.gov
[B] Building Plans Review	COND	615-862-6611 Richard.Harris@nashville.gov
[B] Fire Life Safety Review On Bldg App	APPROVED	615-862-6612 Chanda.Williams@nashville.gov
[B] Fire Sprinkler Requirement	YES	615-862-6612 Chanda.Williams@nashville.gov
[E] Cross Connect Review For Bldg App	COND	615-862-6825 Sara.Jinnette@nashville.gov
[A] Bond & License Review On Bldg App		
[B] Plans Picked Up By Customer	YES	615-880-2649 Ronya.Sykes@nashville.gov
[E] Grease Control Review On Bldg App	APPROVED	615-862-4591 angela.colter@nashville.gov
[D] Grading Plan Review For Bldg App	APPROVED	(615) 862-6038 Logan.Bowman@nashville.gov
M.D.H.A REVIEW ON BLDG APP	APPROVED	615-252-3750
[H] Historic Zoning Review - CA	IGNORE	615-862-7970 Robin.Zelgler@nashville.gov
[E] Water Availability Review For Bldg	COND	615-862-6825 Sara.Jinnette@nashville.gov
[J] Subdivision Review Of Bldg App	IGNORE	Deborah.Sullivan@nashville.gov
[E] Sewer Availability Review For Bldg	COND	615-862-6825 Sara.Jinnette@nashville.gov

3294. 42

Exhibit 3
Approval required for building permit



Exhibit 4
Spiral stair under the access room.

U2 PARTNERS



Exhibit 5
Railing and rooms with ATT building in background



Exhibit 6
Existing parapet and weakened underlying brick, mortar and wood

U2 PARTNERS



View from subject property across Church Street



View of building across 2nd Avenue North
(Note access rooms are not visible)



4th floor indicating old roof line



4th floor indicating old roof line



Closer view showing tar and flashing from old roof line