

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970

STAFF RECOMMENDATION

1104 Petway Avenue

March 17, 2021

Application: New Construction - Addition
District: Eastwood Neighborhood Conservation Zoning Overlay
Council District: 06
Base Zoning: RM20
Map and Parcel Number: 083050185
Applicant: Alan Minchew
Project Lead: Jenny Warren, jenny.warren@nashville.gov

Description of Project: Application for the construction of a rear addition that is two feet (2') taller than the historic house.

Recommendation Summary: Staff recommends approval with the following conditions:

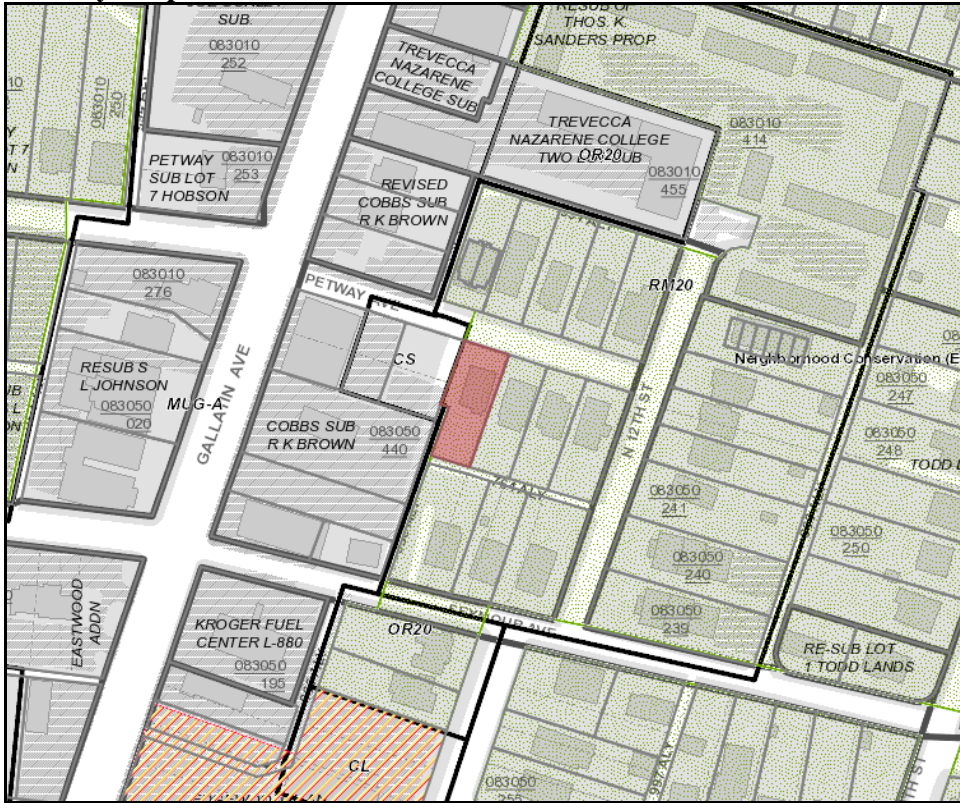
1. Staff approve the final roof color, rear stair material, windows and doors prior to purchase and installation; and,
2. The HVAC shall be located behind the house or on either side, beyond the mid-point of the house, and utility meters shall be located on the side of the building, within 5' of the front corner. Alternative mechanical and utility locations must be approved prior to an administrative sign-off on building permit(s);

finding that the project meets Section II.B of the *Eastwood Neighborhood Conservation District: Handbook and Design Guidelines*

Attachments

- A:** Photographs
- B:** Site Plan
- C:** Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. GUIDELINES

1. NEW CONSTRUCTION

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).

Appropriate setbacks will be determined based on:

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

Appropriate height limitations will be based on:

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall..

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

i. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

2. ADDITIONS

- a. Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades.

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions that tie-into the existing roof must be at least 6" below the existing ridge line.

In order to assure that an addition has achieved proper scale, the addition should:

- No matter its use, an addition should not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.*
- Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- Additions should generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*
 - An extreme grade change*
 - Atypical lot parcel shape or size*

In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not be taller and extend wider.

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building.

In this instance, the side walls and roof of the addition must set in as is typical for all additions.

The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep.

In addition, a rear addition that is wider should not wrap the rear corner.

Ridge raises

Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that

require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.

Sunrooms

Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories.

The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.

Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.

Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:

- New dormers should be similar in design and scale to an existing dormer on the building.*
- New dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.*
- The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes dormer locations relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.*
- Dormers should not be added to secondary roof planes.*
- Eave depth on a dormer should not exceed the eave depth on the main roof.*
- The roof form of the dormer should match the roof form of the building or be appropriate for the style.*
- The roof pitch of the dormer should generally match the roof pitch of the building.*
- The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)*
- Dormers should generally be fully glazed and aprons below the window should be minimal.*
- The exterior material cladding of side dormers should match the primary or secondary material of the main building.*

Side Additions

When a lot width exceeds 60' or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure (at or beyond the midpoint of the building) and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

Commercial buildings that desire a covered open-air side additions generally should not enclose the area with plastic sides. Such applications may be appropriate if: the addition is located on the ground level off a secondary facade, is not located on a street facing side of a building, has a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition.

b. The creation of an addition through enclosure of a front porch is not appropriate.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

c. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

d. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

e. Additions should follow the guidelines for new construction.

III.B.1 Demolition is Not Appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

III.B.2 Demolition is Appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 of the historic zoning ordinance.



Background:
1104 Petway Avenue is a circa 1899 house that contributes to the Eastwood Neighborhood Conservation Zoning Overlay.

Figure 1. 1104 Petway Avenue

Analysis and Findings: This is an application for the construction of a rear addition that is two feet (2') taller than the historic house.

Demolition: The new construction will require the demolition of a small rear addition. (Figures 2 & 3) This section is not visible from the street and does not contribute to the historical or architectural character and significance of the house or district. Its removal will not have a negative impact on the overlay. Staff finds that the proposed demolition is appropriate and the project meets Section III.B.2 for appropriate demolition.



Figures 2 & 3. Rear elevation with addition to be demolished

Height & Scale: The historic house is nineteen feet (19') tall from finished floor. The ridge of the proposed addition will be twenty-one feet (21') from finished floor. The guidelines allowed for additions that go up to four feet (4') taller and specify that the increased height should be set forty feet (40') back from the front of the historic house. The higher portion in this case starts forty-two feet (42') from the front wall of the house, and steps only two feet (2') taller. Staff finds this to meet the guidelines. (Figure 4) The foundation height of the addition will be consistent with the foundation height of the historic house. The eave height will be about two feet (2') taller than the historic eave.

Staff finds that this could be appropriate in this instance, as the square footage of the addition is very modest at about five-hundred and forty (540) square feet.

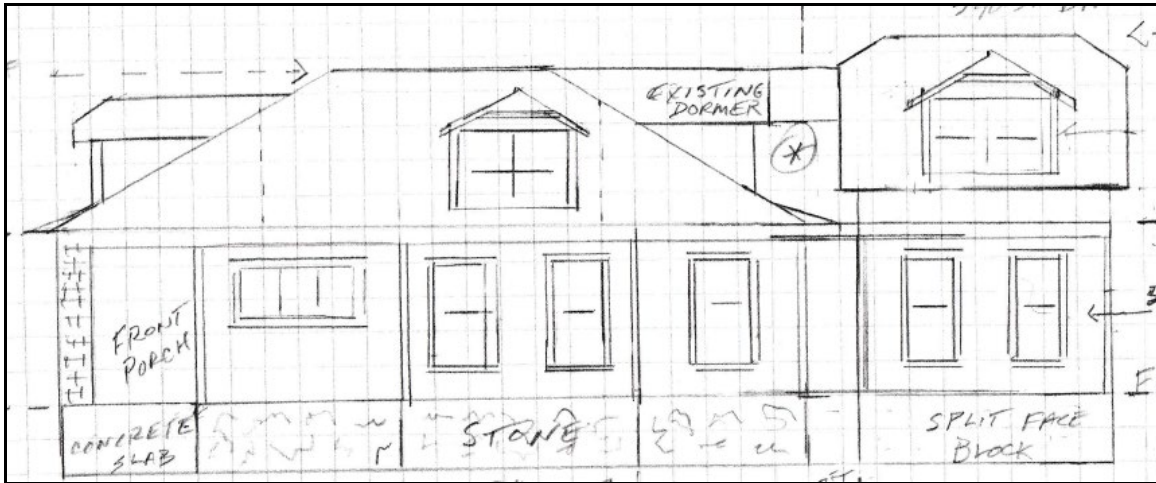


Figure 4. Right side elevation

The addition steps in one foot on both sides for a depth of three feet (3') before the walls step back out flush with the historic side walls. On the upper level, the existing dormer will extend to connect to the addition. The face of the new dormers will be inset two feet (2') from the face of the historic dormers and from the wall below.

Staff finds that the project meets Section II.B.1. a and b for height and scale.

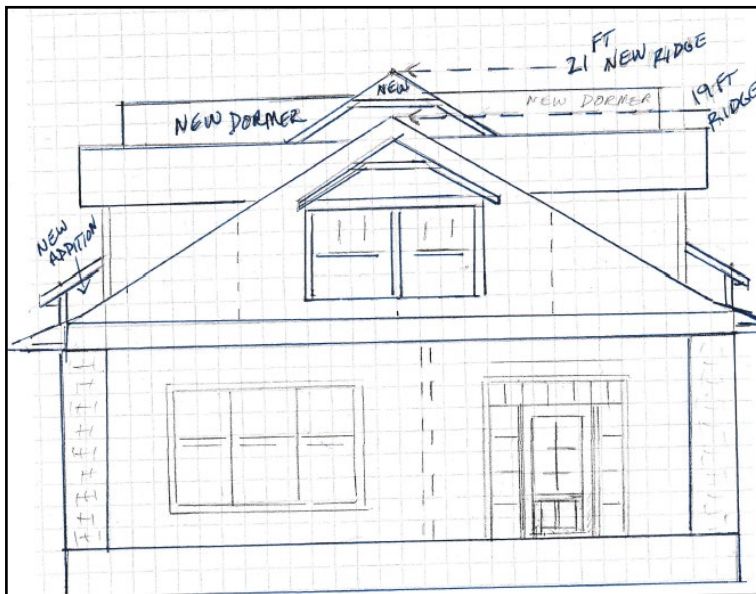


Figure 5. Front elevation

Location & Removability:

The location of the addition at the rear of the existing building is in accordance with the design guidelines. The addition is designed so that if the addition were to be removed in the future, the historic character of the house would still be intact.

The project meets section II.B.2.a and d.

Design: The addition's inset and separate roof form help to distinguish it from the historic house and read as an addition to the house. At the same time, its scale, materials, roof

form, and fenestration pattern are all compatible with the historic character of the existing house.

The project meets section II.B.2.a and e.

Setback & Rhythm of Spacing: The addition will not impact the front or side setbacks. The rear of the addition will be more than sixty feet (60') from the rear property line.

The project meets section II.B.1.c.

Materials:

	Proposed	Color/Texture/ Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Concrete Block	Split Face	Yes	
Cladding	5" cement fiberboard lap siding	Smooth	Yes	
Roofing	Architectural Shingles	Color unknown	Yes	X
Trim	Cement Fiberboard	Smooth faced	Yes	
Windows	Not indicated	Needs final approval	Unknown	X
Rear door	Not indicated	Needs final approval	Unknown	X
Rear stairs	Not indicated	Needs final approval	Unknown	X

A door is indicated on the rear elevation several feet above ground level. (Figure 6) A stair will need to be provided here. With final staff approval of the roofing color, rear stair material, windows and door, staff finds that the project meets section II.B.1.d

Roof form: The addition uses a rear-facing gable with a gabled dormer on each side elevation. The main roof form is clipped, which is consistent with the guidelines' specifications for the roofs of additions that are taller than the historic building. The slope matches that of the historic house at about 7/12. The dormers are inset two feet (2') from the side wall below and also about two feet (2') from the historic dormers. (Figure 6)

The project meets section II.B.1.e.

Proportion and Rhythm of Openings: No changes to the window and door openings on the existing house were indicated on the plans. The windows on the proposed addition are all generally twice as tall as they are wide, thereby meeting the historic proportions of openings.



Figure 6. Rear elevation

Shorter windows are found in the dormers, which is appropriate, and there is one pair of shorter, more squared windows on the rear elevation, which staff finds to be appropriate in that location. Paired windows should have a four to six inch (4”-6”) mullion in between. There are no large expanses of wall space without a window or door opening. Staff finds the project’s proportion and rhythm of openings to meet Section II.B.1.g.

Appurtenances & Utilities: No changes to the site’s appurtenances were indicated on the drawings. The location of the HVAC and other utilities was also not noted. Staff asks that the HVAC be located behind the house or on either side, beyond the midpoint of the house, and utility meters be located on the side of the building, within 5’ of the front corner or on the rear or rear-side within 5’ of the rear corner. Alternative mechanical and utility locations must be approved prior to an administrative sign-off on building permit(s). The project meets section II.B.1. i.

Recommendation: Staff recommends approval with the following conditions:

1. Staff approve the final roof color, rear stair material, windows and doors prior to purchase and installation; and,
2. The HVAC shall be located behind the house or on either side, beyond the mid-point of the house, and utility meters shall be located on the side of the building, within 5’ of the front corner. Alternative mechanical and utility locations must be approved prior to an administrative sign-off on building permit(s);

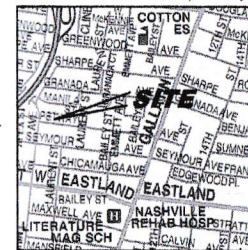
finding that the project meets Section II.B of the *Eastwood Neighborhood Conservation District: Handbook and Design Guidelines*

NOTES:

1. NUMBERS SHOWN THUS (00) PERTAIN TO DAVIDSON COUNTY PROPERTY TAX MAP NUMBER 083-05.
2. BEARING SYSTEM IS DERIVED FROM TN STATE PLANE COORDINATES (NAD83).
3. IN TENNESSEE IT IS A REQUIREMENT OF THE 'UNDERGROUND UTILITY DAMAGE PREVENT ACT', THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNER(S), NO LESS THAN (3) NOR MORE THAN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY HAZARD OR CONFLICT. * UTILITIES NOT 1-800-351-1111 TENNESSEE ONE CALL CHECKED.
4. PROPERTY CURRENTLY ZONED OV-U20 - URBAN ZONING OVERLAY / OV-NHC - EASTWOOD NEIGHBORHOOD OVERLAY / RM20 WITHIN THE METROPOLITAN ZONING ORDINANCE.
5. THIS ENTIRE PARCEL IS LOCATED IN AN AREA DESIGNATED AS ZONE 'X' ON NFIP COMMUNITY NO. 470040, PANEL NO. 0261H, DATED APRIL 5, 2017.
6. PROPERTY SUBJECT TO ANY AND ALL FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH. NO TITLE REPORT FURNISHED TO SURVEYOR PRIOR TO SURVEY.

THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS OF A CATEGORY 1, URBAN AND SUBDIVISION LAND SURVEY, AS PER THE STANDARDS OF PRACTICE, AS REVISED AND ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS, STATE OF TENNESSEE, (EFFECTIVE JANUARY 4, 1992)

LOCATION MAP (N.T.S.)



SURVEYOR'S CERTIFICATE

WE HEREBY STATE THAT THIS SURVEY HAS BEEN MADE USING THE PLAT OF RECORD, AS RECORDED IN BOOK 332, PAGE 144, REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, AND IS ACCURATE TO THE BEST OF OUR KNOWLEDGE, INFORMATION, BELIEF AND OUR PROFESSIONAL OPINION.

BY:



PLOT PLAN
FOR
ALAN B. MINCHEW

LOCATED
1104 PETWAY AVENUE
NASHVILLE, TENNESSEE 37206
DATE: JANUARY 23, 2021
SCALE: 1"=30'
FILE NO. 221-013

SHOWING
LOT 17 ON THE PLAN OF
COBB'S SUBDIVISION -
R.K. BROWN
BOOK 332, PAGE 144,
REGISTER'S OFFICE OF DAVIDSON COUNTY

© 2021 PATRICK COODE

LEGEND

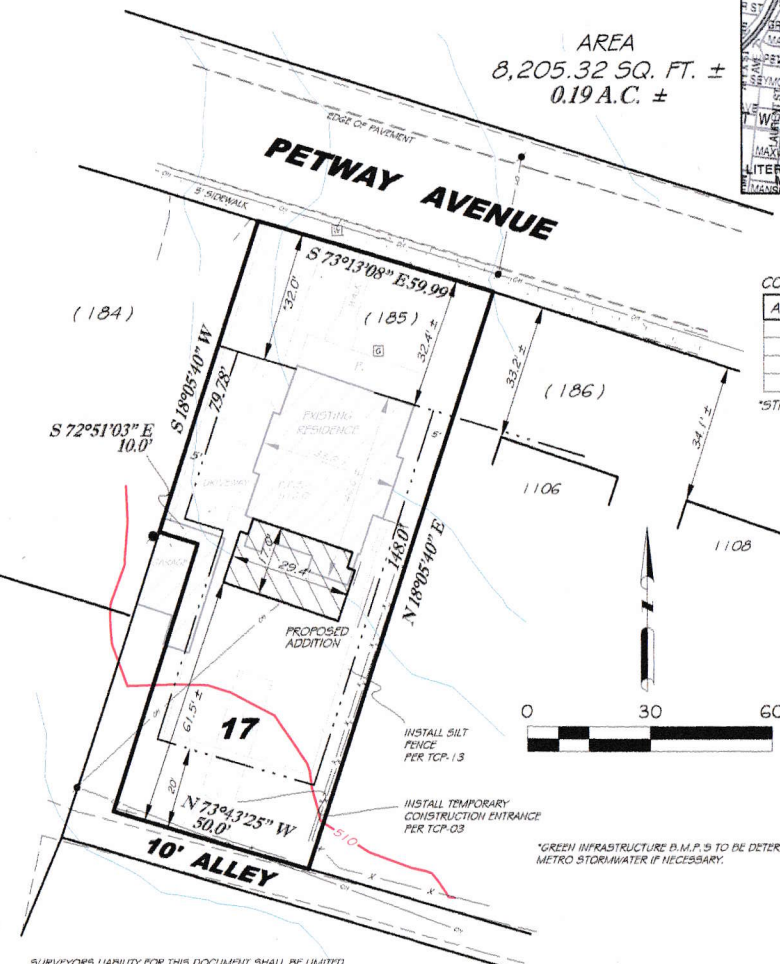
- PROPERTY LINE
- - - (P.U.# D.E.) PUBLIC UTILITY EASEMENT
- - - (M.B.S.L.) MINIMUM BUILDING SETBACK LINE
- - - FENCE LINE
- IP IRON PIN (OLD)
- IP IRON PIN (NEW)
- ⊕ FH FIRE HYDRANT
- ⊕ PP POWER POLE
- ⊙ GAS METER
- ⊙ WATER VALVE
- ⊙ MAN HOLE
- DROP INLET

SCALE 1"=30'



PATRICK COODE AND COMPANY, LLC

144 SPRING VALLEY ROAD - NASHVILLE, TENNESSEE 37214
EMAIL: PSCODE@COMCAST.NET PH: 615 974-1814



STORMWATER MANAGEMENT

EXISTING IMPERVIOUS AREA

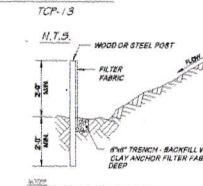
BUILDINGS	1,589.37 SQ. FT. ±
DRIVES, WALKS, A.C.'S	1,706.56 SQ. FT. ±
TOTAL I.A.	3,295.93 SQ. FT.

PROPOSED IMPERVIOUS AREA

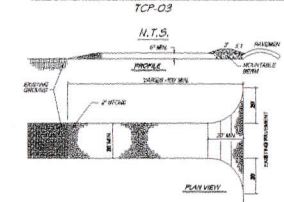
BUILDINGS	1,916.73 SQ. FT.
DRIVES, WALKS, A.C.'S	1,594.69 SQ. FT.
TOTAL PROPOSED I.A.	3,511.42 SQ. FT.

3,511.42 SQ. FT. - 3,295.93 SQ. FT. = 215.49 SQ. FT.
NET IMPERVIOUS AREA = 215.49 SQ. FT.
I.A. TO LOT RATIO = 42.79%

SILT FENCE DETAIL



TEMPORARY CONSTRUCTION ENTRANCE



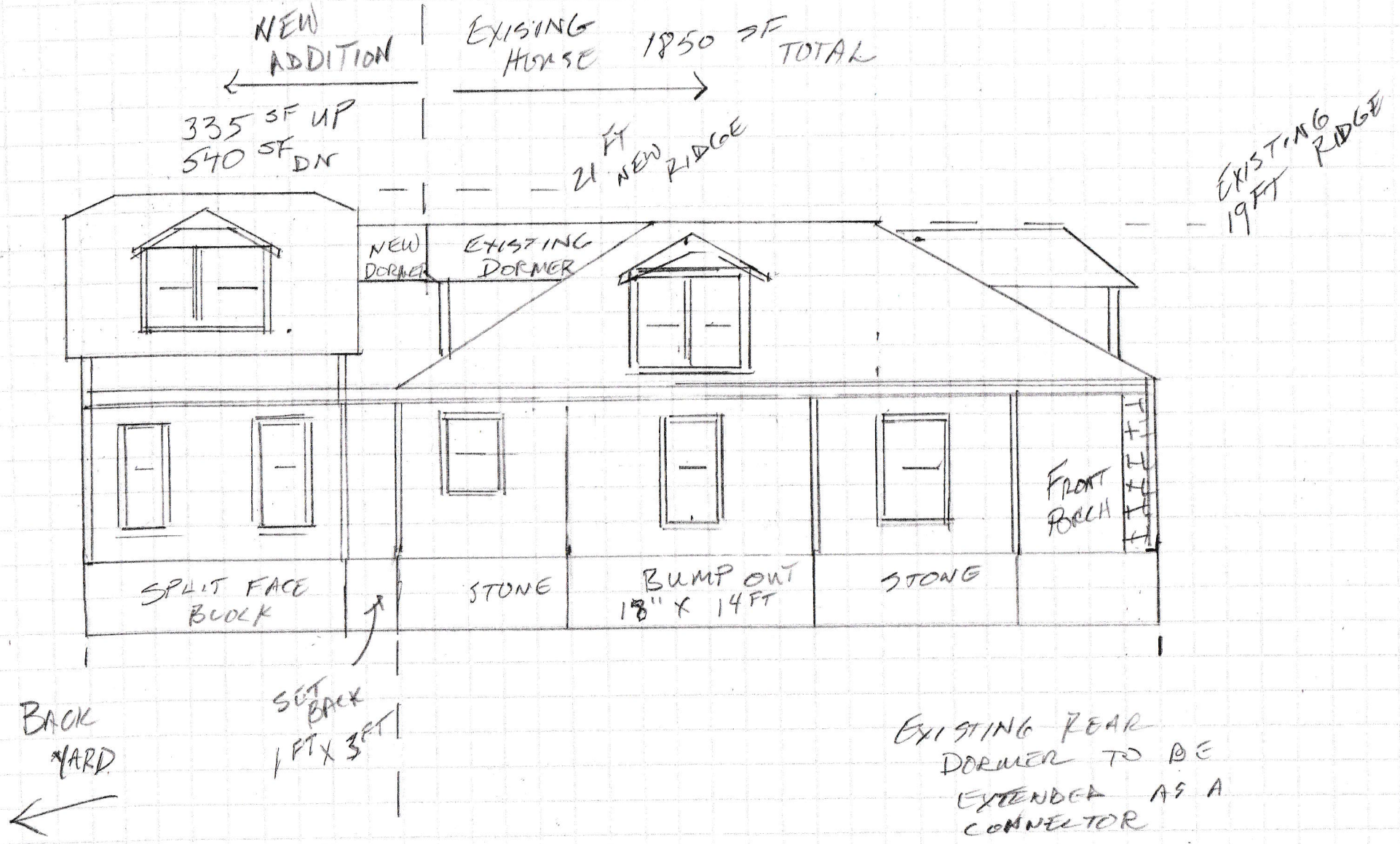
- NOTES:
1. SEE ALL NOTES ON SHEETS 17-1 AND 17-2.
 2. VERIFY ALL DIMENSIONS AND BEARINGS.
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- NOTES:
1. VERIFY ALL DIMENSIONS AND BEARINGS.
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 9. VERIFY ALL DIMENSIONS AND BEARINGS.
 10. VERIFY ALL DIMENSIONS AND BEARINGS.

SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT AN EXPRESSED RE-CERTIFICATION BY THE SURVEYOR WHOSE NAME APPEARS UPON THIS SURVEY.

ALAN MINCHEW
CROSS CREEK RESIDENTIAL
1104 PETWAY AVE

EAST VIEW



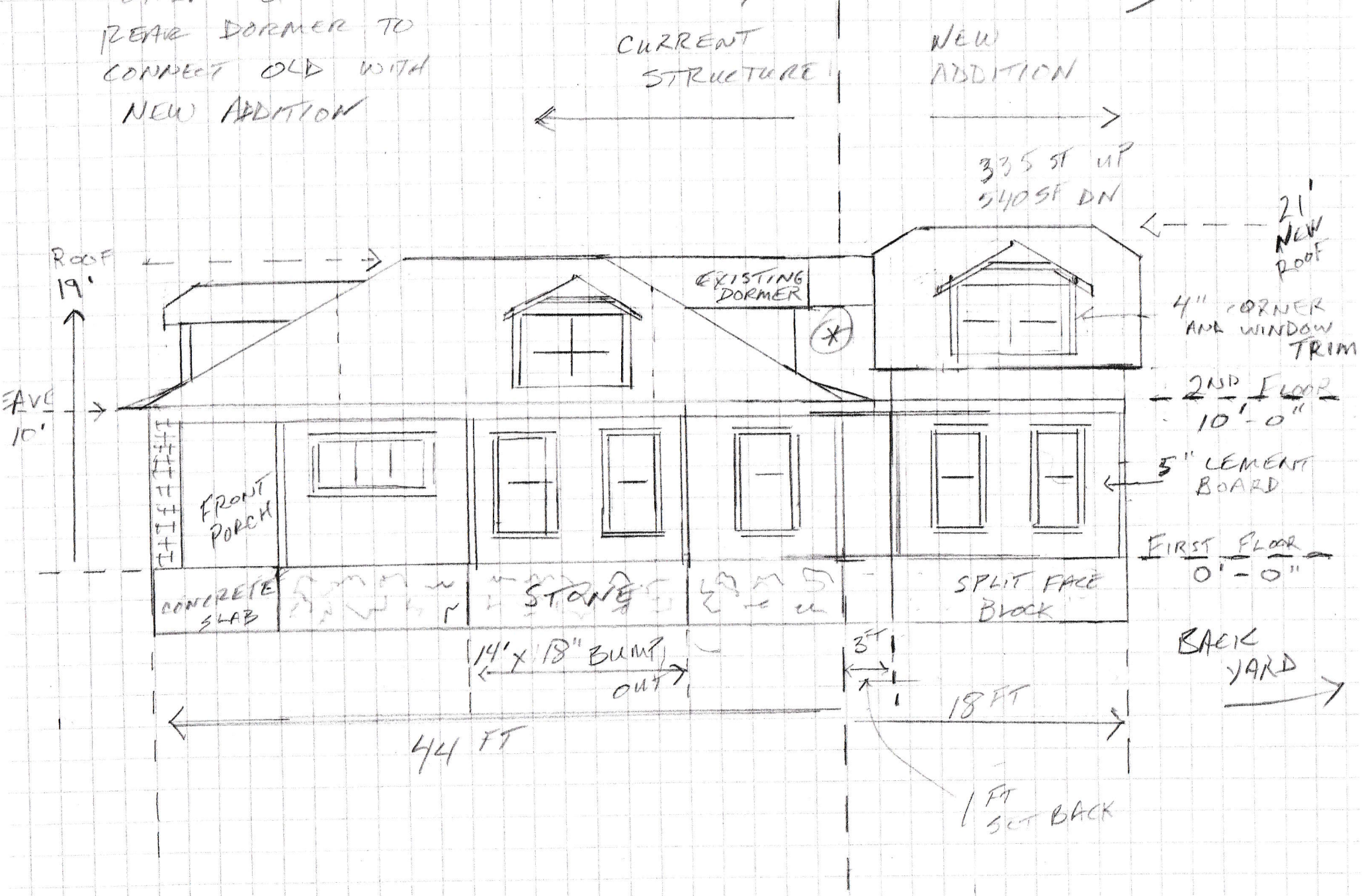
ALAN WINCHEW
CROSS CREEK RESIDENTIAL SERVICES
1104 PETWAY AVE
NASHVILLE, 37206

WEST SIDE

(*) EXTEND EXISTING
REAR DORMER TO
CONNECT OLD WITH
NEW ADDITION

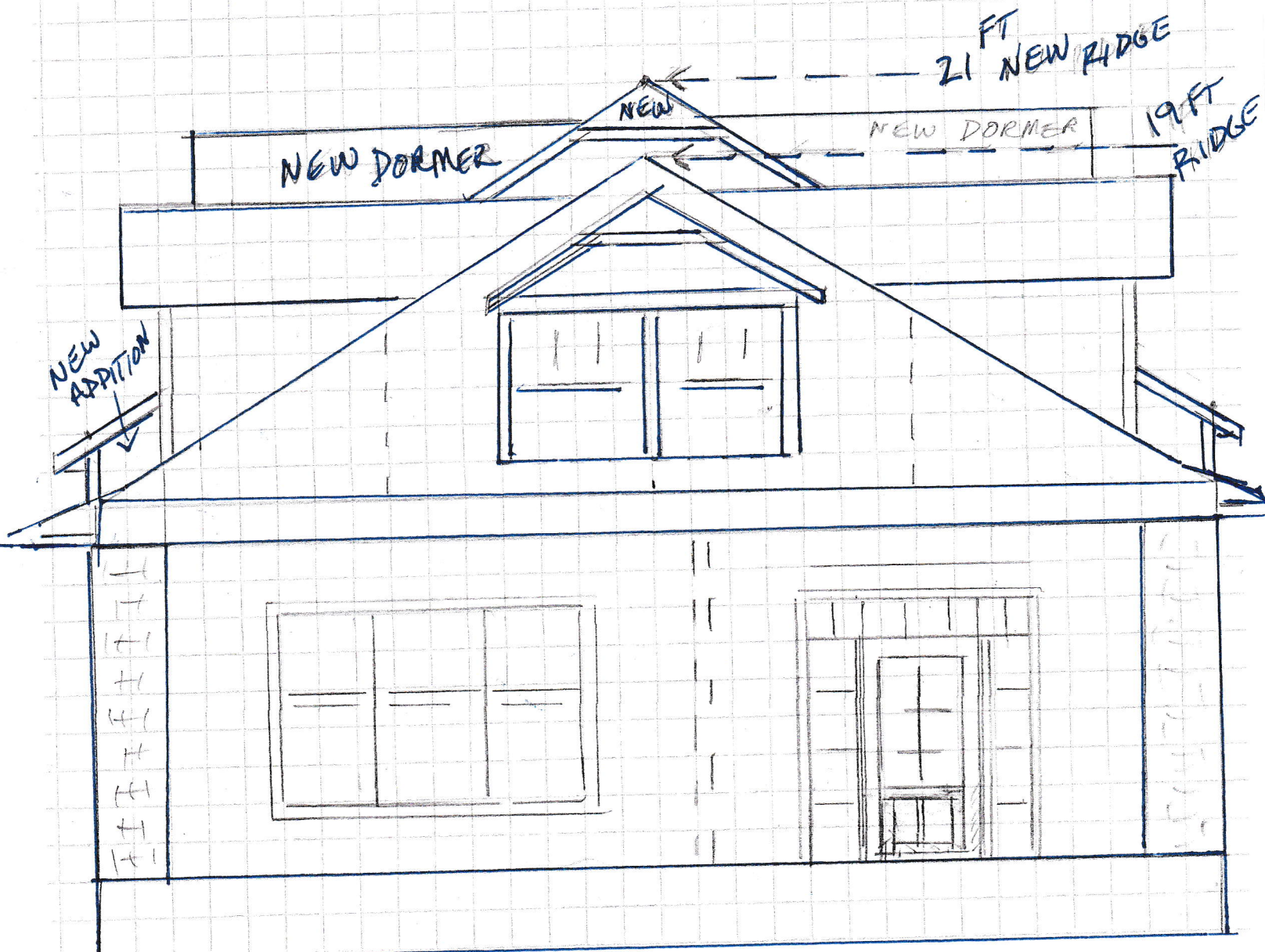
CURRENT
STRUCTURE

NEW
ADDITION



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VIEW FROM FRONT YARD



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VIEW FROM BACK YARD

