

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970

STAFF RECOMMENDATION

110 South 17th Street

March 17, 2021

Application: Partial Demolition

District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

Council District: 06

Base Zoning: R6

Map and Parcel Number: 08310021900

Applicant: Brittney Blanton

Project Lead: Melissa Sajid, Melissa.sajid@nashville.gov

Description of Project: Application is to reconfigure the front porch on the historic house. The work is considered partial demolition.

Recommendation Summary: Staff recommends disapproval of the removal of the center, brick-and-stone, enclosed railing as well as the changing the porch orientation from side entry to front entry, finding that the work would not meet Sections II.B.6 and III.B of the *Lockeland Springs-East End Neighborhood Conservation District: Handbook and Design Guidelines*.

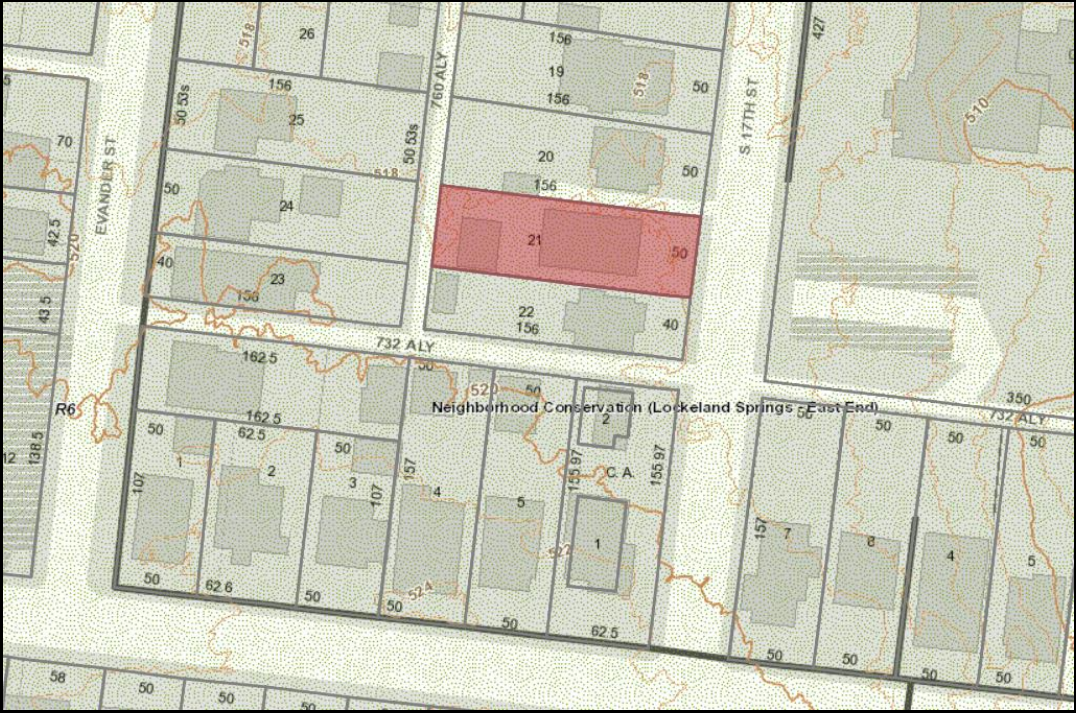
Attachments

A: Photographs

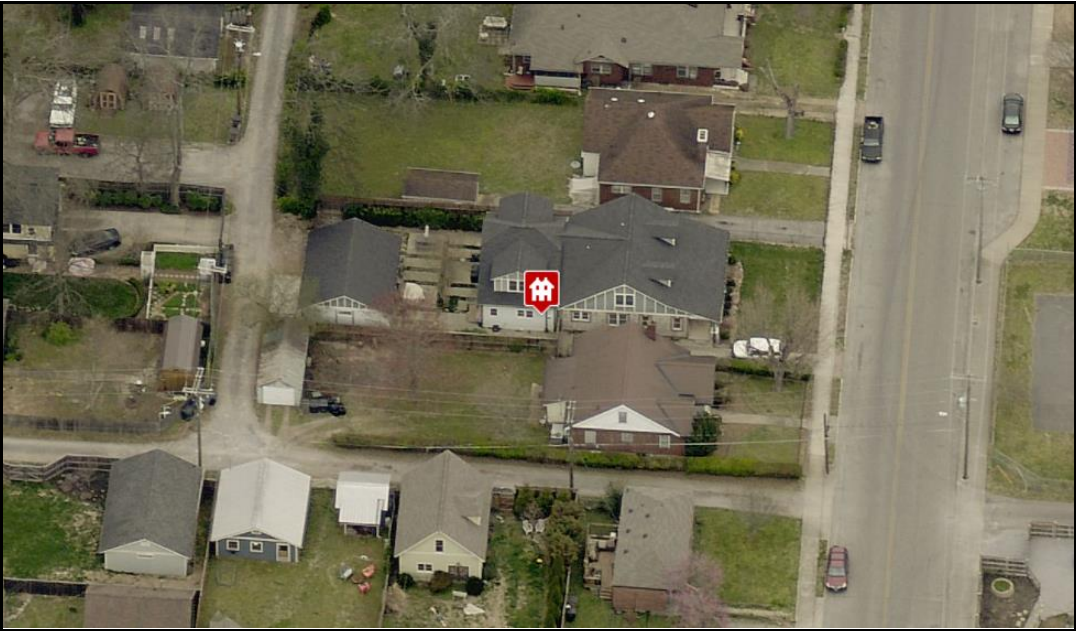
B: Elevations

C: Applicant statement

Vicinity Map:



Aerial Map:



Applicable Design Guidelines

II.B. New Construction

4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials, textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

T-1-11-type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

6. Orientation

The site orientation of new buildings shall be consistent with that of adjacent buildings and shall be visually compatible. Directional expression shall be compatible with surrounding buildings, whether that expression is vertical, horizontal, or non-directional.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median.

Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may

be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

9. Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate.

Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an alley.

Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

III.B. Demolition

1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: The house located at 110 South 17th Street is a c. 1930 stone bungalow that contributes to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay (Figure 1). The Commission approved an addition to the house as well as an outbuilding in 2013. MHZC staff administratively issued a preservation permit in 2020 for a screened porch addition.



Figure 1. 110 South 17th Street, March 2020.

Analysis and Findings:

Partial demolition: The applicant proposes partial demolition of an enclosed stone porch railing. The plan is to remove the sloped stone and brick wall at the center as well as the rusticated stone planter railing on each side (Figures 2 and 3). In a neighborhood conservation zoning overlay, replacement of open-style porch railings is not reviewed. Staff finds that this case is different for two reasons. On many historic homes, porch railings often have an open design of wood or metal. In this case, the porch railing is enclosed and more of an integral part of the overall porch and is a character defining feature. In addition, the plan proposes to change the porch orientation from a side entry to front entry (Figure 4). The c.1964 Property Assessor's photo shows the current porch configuration, and staff has found no evidence indicating that the front porch design or configuration has been changed (Figure 5).



Figure 2. Center masonry enclosed porch railing.



Figure 3. Enclosed planter railing.



Figure 4. Proposed front elevation.



Figure 5. c.1964 Property Assessor's photo.

Given these factors, staff finds that the porch design and side-orientation are character defining features of this historic house. Removal of the planter-railing may be appropriate since that feature is not as visually tied to the historic home in the same way as the center enclosed railing, which is designed with brick and stone, similar to the walls of the house. In addition, retention of this porch, will not change the side-orientation of the porch.

Staff therefore finds that the proposed partial demolition of the center, brick-and-stone, enclosed railing is inappropriate given that this feature is a character defining feature of the front of the building and that its removal does not meet Section III.B.2 for appropriate demolition and meets Section III.B.1 for inappropriate demolition.

Orientation: As previously stated, the proposal would change the orientation of the front porch from side entry to front entry. Side entry porches are common features on historic bungalows in the Lockeland Springs-East End neighborhood, and there is no evidence that this house's front porch was previously configured with a front entry. The orientation of the front porch is considered a character defining feature that makes this

house unique. For these reasons, staff finds it inappropriate to change the porch orientation as proposed and finds that the project does not meet Section II.B.6.

Recommendation: Staff recommends disapproval of the removal of the center, brick-and-stone, enclosed railing as well as the changing the porch orientation from side entry to front entry, finding that the work would not meet Sections II.B.6 and III.B of the *Lockeland Springs-East End Neighborhood Conservation District: Handbook and Design Guidelines*.

Attachment C: Applicant Statement

Hi Melissa,

Please see note from the owner below.

First, let me thank the Historic Commission for taking the time to hear our alterations request for our home. Our primary objective is to make access to the house more functional while maintaining the historical integrity of the primary structure. This home was a duplex previously, but it is now a single family home. To make access to the front porch more obvious and increase curb appeal in the process, we would like to update the porch as illustrated in the renderings. Additionally, the jagged stone flower beds are in poor condition after last year's tornado and are a hazard for our 3 year old daughter in general. We would like to replace it with a short wood fence that would match the fence, making the porch more child friendly and allow us to get back some additional square footage on the porch itself that we enjoy in the warmer months. Thank you for your time and consideration.

Thank you,

Brittney Blanton, ASID
b. blanton design

DAVIS RESIDENCE

110 SOUTH 17TH STREET
NASHVILLE, TN 37206



REPLACE STONE
FLOWERBED WITH
2'6" FENCE ●

ADD PAVED
WALKWAY ●

● REMOVE EXISTING
STONE/ BRICK WALL
TO ALLOW FOR WALKWAY

SCALE: 1/4" = 1'0"

DAVIS RESIDENCE

110 SOUTH 17TH STREET
NASHVILLE, TN 37206

FENCE REFERENCE IMAGE



DAVIS RESIDENCE

110 SOUTH 17TH STREET
NASHVILLE, TN 37206





Remove stone/brick wall to
create a walkway to front porch



**BLACK
LIVES
MATTER**



← — Remove jagged stone flower bed and replace with short 2.5' wood fence to match stained fence posts



Create paved walkway from sidewalk, thru the fence gate and up to the porch