

JOHN COOPER  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970

**STAFF RECOMMENDATION**

**116 3<sup>rd</sup> Avenue South**

**February 17, 2021**

**Application:** Rehabilitation; Signage

**District:** Broadway Historic Preservation Zoning Overlay

**Council District:** 19

**Base Zoning:** DTC

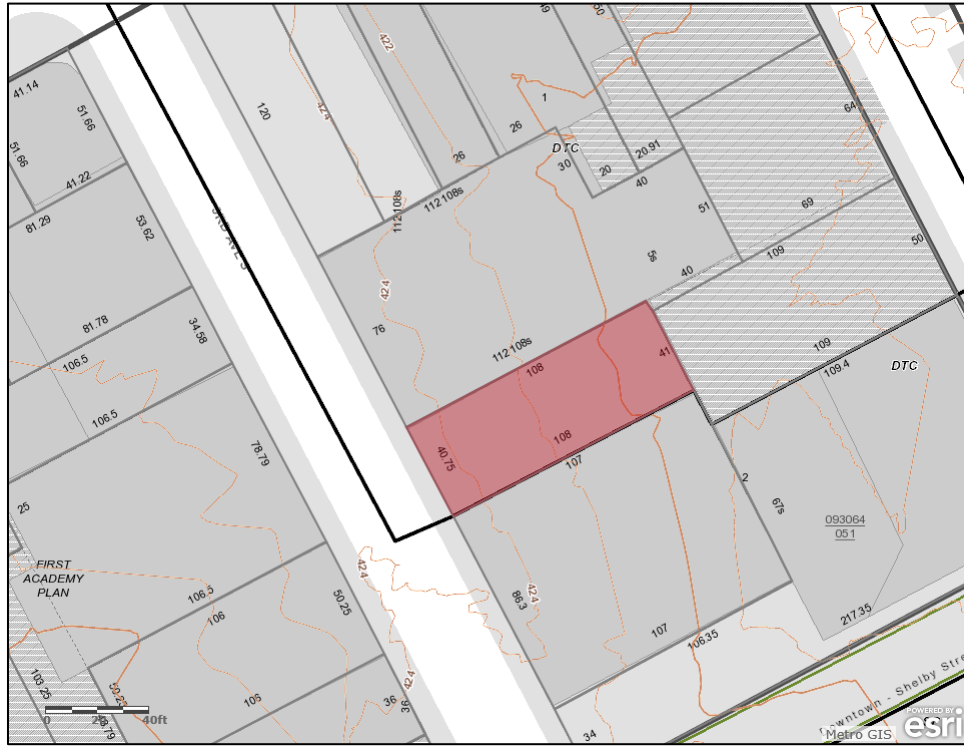
**Map and Parcel Number:** 09306405600

**Applicant:** Gina Emmanuel, Architect

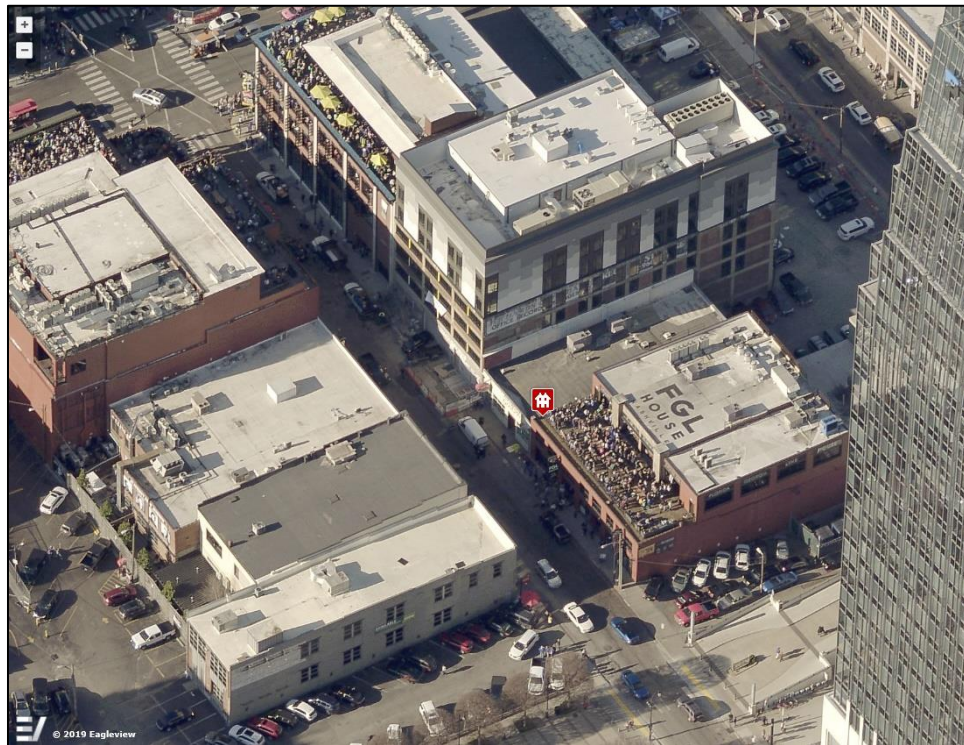
**Project Lead:** Sean Alexander, sean.alexander@nashville.gov

<p><b>Description of Project:</b> The applicant is proposing to alter the front façade of a non-contributing building by replacing doors, installing a new entry, windows and bulkheads, rebuilding the rear wall, painting the building, and installing new signage and new lighting.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the proposed project with conditions that:</p> <ol style="list-style-type: none"><li>1. Masonry selections (brick, stone, and mortar) for the rear wall are approved administratively;</li><li>2. The metal and glass color, and the mullion profile of the storefront doors and windows are approved administratively prior to construction;</li><li>3. The painted masonry remain as-is, or be repainted a color matching the original brick color as currently seen on the rear wall;</li><li>4. The rear painted signage is an appropriate type of paint; and</li><li>5. The lighting fixture in the vestibule is concealed.</li></ol> <p>Meeting those conditions, staff finds that the proposal meets the Broadway Historic Preservation Zoning Overlay design guidelines for Rehabilitation, Signage, and Lighting.</p>	<p><b>Attachments</b> <b>A:</b> Photographs <b>B:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II. Rehabilitation**

#### **A. Storefronts**

1. Historic storefronts, their component elements, and other aspects of appearance including the original entrance configuration, plane, and recess should be retained.
2. Deteriorated or damaged storefronts or component elements should be repaired using historically appropriate materials.
3. If replacement storefronts or component elements are necessary, replacements should be compatible with the materials, composition, design, texture, and general appearance of the original. Replacements should use physical or photographic evidence to replicate the original appearance. If evidence is not available, the replacement storefront should use arrangement, features, materials, and proportions typically found on buildings of the same style and period of the building involved.

#### **B. Doors and Entryways**

1. Original doors, entryways, and related elements should be retained.
2. Deteriorated or damaged doors or entryways should be repaired using historically appropriate materials.
3. If replacement doors are necessary, replacements should replicate the originals. If original doors do not remain, replacement doors should be of wood and the proportion of glass to door should be comparable to the proportion of display windows to storefront.
4. If doors or entrances do not conform to building or accessibility codes, the originals should be retrofitted to conform. If this is not feasible, replacement doors should be compatible with the original storefront. Variances to building codes may also be sought when the building meets the intent of the code requirements.
5. If wood replacement doors are not feasible, or were not original to the building, dark or bronze anodized metal doors with a wide stile may be appropriate. Raw metal doors and doors without a glass pane are not appropriate. Glass used in replacement doors should be clear.
6. Generally, new entryways should not be introduced to public facades, unless needed for access to an upper floor or a secondary building use. If a new entrance is needed, it should be compatible with the style and period of the building.

#### **C. Display Windows**

1. Original display windows and their component elements should be retained.
2. Deteriorated or damaged display windows should be repaired using historically appropriate materials.
3. If replacement display windows are necessary, replacements should replicate the originals. If original display windows do not exist, replacements should be appropriate for the building's style and period.
4. Appropriate replacement elements include individual or grouped single-light clear-glass panes and simple wood, copper, bronze anodized aluminum, or baked-enamel aluminum frames.
5. Glazing should be clear glass. Ornamental, frosted, spandrel, or stained glass display windows are not appropriate.
6. Display windows should remain visible and not be concealed or enclosed.
7. If privacy or shade other than that afforded by awnings is needed, interior shades or blinds are appropriate.

**D. Transoms**

1. Original transoms and their component elements should be retained.
2. Deteriorated or damaged transoms should be repaired using historically appropriate materials.
3. If replacement transoms are necessary, replacements should replicate the original. If original transoms do not exist, replacements should be appropriate for the building's style and period.
4. Appropriate replacement elements include single or multi-light clear-glass panes and simple wood or metal frames.
5. Historic transoms should remain visible and not be covered or enclosed.

**E. Bulkheads**

1. Original bulkheads and their component elements should be retained.
2. Deteriorated or damaged bulkheads should be repaired using historically appropriate materials.
3. If replacement bulkheads are necessary, replacements should replicate originals. If original bulkheads do not exist, replacements should be appropriate for the building's style and period of construction.
4. Appropriate replacement elements include paneled and painted wood, brick, and metal.
5. Historic bulkhead materials should remain visible, not concealed beneath added materials.

**I. Walls**

1. Original walls, including plane, openings, recesses, detailing, and ornamentation, should be retained.
2. Balconies should not be added to public facades.

**M. Paint**

1. Building owners are encouraged to remove paint from masonry. Gentle, non-abrasive chemical cleaning is an appropriate way to remove paint. The exceptions to this guideline are two brick buildings which were historically painted; Tootsies Orchid Lounge at 422 Broadway and Acme Feed at 101 Broadway.
2. Painting of stone and brick is generally not appropriate.
3. The painting or staining of masonry may be appropriate if: brick has previously been painted; or if brick has been sandblasted or otherwise damaged and is too deteriorated to withstand weather. A brick color approximating the original color of the building's brick should be used.
4. Historic painted signage on exterior brick walls should be maintained.
5. Brick sealers are not recommended for exterior brick as it may cause damage to the brick face over time.

**N. Rear Elevations**

1. Generally, original materials and features on rear elevations should be preserved and maintained.
2. The appearance of rear elevations can be enhanced through the screening of infrastructure elements
3. and the use of signage and awnings.
4. Rear elevations are appropriate locations for mechanical systems, meters and fire stairs.

## **T. Lighting**

1. If lighting is installed, it should be concealed or simple and unobtrusive in design, materials, and relationship to other façade or elevation elements.
2. Light should be directed toward the façade instead of outward. Building facades may be illuminated through uplights mounted above the storefront cornice.
3. Dark metals are appropriate materials for light fixtures.
4. Concealed, indirect, or spot lighting is appropriate for exterior signage. Visible fluorescent or incandescent bulbs are not appropriate.

## **IV. SIGNAGE INTRODUCTORY PROVISIONS**

### **Intent**

The purpose of these regulations is to preserve the historic character of the overall district and individual historic buildings follow the basic principles and guidance of the “Downtown Codes Sign Standards” as adopted 1/30/2013. The “Downtown Codes Sign Standards” breaks signage guidance up by “street types.” The Broadway Historic Preservation Zoning Overlay closely follows the guidance for “Pedestrian Street” type.

### **Applicability**

- These sign regulations apply to all properties within the Broadway Historic Preservation Zoning Overlay.
- (Not referencing code since our current design guidelines do not reference code and there are permissible signs within the code that would not meet our design guidelines.)
- Signage that is cut into the face of the building is prohibited.
- Signage located on the interior of a building or attached to the inside of glass windows is not reviewed.
- Sandwich board signs and 3-dimensional sidewalk signs that are brought into the building at the close of each business day shall not be reviewed by the MHZC but may require review by Public Works.
- Historic signage should be retained. Removal of historic signage may take place as a Modification.

### **Sign Permit Applications**

Applications for sign permits shall be made with and reviewed by the Metro Historic Zoning Commission (MHZC). All sign applications that do not involve Modifications shall only require MHZC administrative approval.

### **Common Sign Plan**

- A common signage plan regulates signage for multiple businesses or tenants within one building or complex. A common sign plan is mandatory for all new developments and sign Modifications.
- A common signage plan shall provide for consistency among signs with regard to at least four of the following: materials; location of each sign on the building; sign proportions; color scheme; lighting; lettering or graphic style.
  - The common signage plan shall establish an allowable area of signage for existing and future tenants with regard to all allowed sign types.
  - The common signage plan shall indicate existing nonconforming signs as well as the amount and locations of on-premise signage to be allocated to each tenant under the new plan.

## **MODIFICATIONS**

### **Sign Permit Modifications**

Requests for modifications to sign standards are reviewed by the Metro Historic Zoning Commission. If the property is also within a MDHA redevelopment district, approval from the MHZC is all that is needed. Two additional types of Modifications for signage related permits may be requested and are outlined below.

### **Modifications for Exceptional Design**

Creative signage that does not fit the specific regulations of these guidelines may be considered by the MHZC, based on its merits, as they relate to all of the following design criteria:

- Architecture
- The configuration or location of the building or property
- Building scale
- Legibility
- Technical competence and quality in design, construction and durability

Applications for this type of Modification require submittal of a common sign plan for the property in question. Approval of any related structure (i.e. canopy) will require review by all applicable agencies. Exceptional design modifications shall not permit electronic changeable copy where it is otherwise not permitted.

## **RIGHT OF WAY ENCROACHMENTS**

Where a sign is proposed to encroach into the public right-of-way an application shall be made with the Public Works Department in addition to the sign permit application with the MHZC. Both applications shall include the requirements of the Public Works Department available at their website: [www.nashville.gov/Public-Works/Developer-Services.aspx](http://www.nashville.gov/Public-Works/Developer-Services.aspx), in addition to the MHZC submittal requirements.

## **NON-CONFORMING SIGNS**

Sections 17.40.660 and 17.40.690 of the Metro Zoning code apply. This section further clarifies them.

### Building Signs

A sign shall be brought into compliance with the provisions of these design guidelines if a sign permit is required to rebuild the sign. This does not include a panel change in a non-conforming cabinet sign, which shall be permitted.

### **Allocation of Sign Area**

The maximum sign area for each type of sign is established in the following tables. Specific requirements for each sign type are shown on the subsequent pages.

For each cell in the table, there is a maximum allowed sign area that may be utilized with any combination and any number of signs associated with that cell, unless otherwise noted.

The measurements for “linear feet” shall be at grade.

### Building Signs

Wall, Awning, Canopy and Projecting Signs—1.5 square feet of sign area per 1 linear foot of building façade or 36 square feet, whichever is greater. When a projecting sign is used on a building, an additional .50 square feet of sign area per 1 linear foot of building façade shall be permitted, for a total 2 square feet per 1 linear feet of building façade.

## **GENERAL STANDARDS**

### **Materials**

All permanent, on-premises signs shall be constructed of a rigid, weatherable material such as hard plastic, wood, MDO plywood, aluminum, steel, PVC, glass, fiberglass and or Plexiglass. On-premises permanent signs shall not be constructed of nonrigid materials including, but not limited to, vinyl, fabric, canvas, or corrugated plastic. The provisions of this subsection shall not apply to approved, permitted canopies, awnings and porticoes.

### **Building Façade and Street Frontage Measurement**

In determination of number of stories of a building, rooftop additions shall not be considered within the number of stories.

## **OTHER SIGN TYPES**

### **Non Street Facing Signs**

Non street-facing building facades and alley frontages, not otherwise regulated, are allocated 1 square foot of sign area per 1 linear foot of building façade, to a maximum of the sign area permitted for the primary street frontage.

This includes lots adjoining open spaces, pedestrian walkways, or parking areas. Ground signs are not permitted on non-street facing building facades or alley frontages.

### **Painted Signs**

All painting of masonry, whether for signage, to change the color of the building, or for artwork shall be reviewed by the MHZC. (Please see section on “walls” for guidance on painting a masonry building.) Painted signage may be considered by the MHZC as modification, based on the following design criteria:

- Should only be added to rear elevations or exposed upper secondary elevations and should not cover transoms, columns, cornices, decorative elements, openings and architectural features or require the enclosure of openings.
- Painted on main facades or the first level of buildings are not appropriate.
- Generally, a painted sign should not be more than 125 square feet in size.
- Painted signs should serve as a sign for the current occupant(s) and should not advertise off-site businesses or products.
- Generally, painted signage should not have lighting; however, if lighting is necessary, it should be between one and two gooseneck lights or another type of light that can be hidden by an architectural feature. Metallic, fluorescent and day-glow paints are not appropriate.

### **Building Sign: Wall Sign**

#### **Description**

- A wall sign is a building sign that is attached flat to, or mounted away from but parallel to, the building façade.
- A wall sign may be painted on the building façade, in some instances, as a modification.

#### **General Provisions**

- A wall sign shall be located lower than the window sills of the top floor for multi-story buildings.
- No portion of a wall sign may extend above the roof line or above a parapet wall of a building with a flat roof.

- No portion of a wall sign may extend above the lower eave line of a building with a pitched roof.
- A wall sign cannot cover windows or architectural details.
- An exposed raceway shall be finished to match the background wall or be integrated into the overall design of the sign.
- A wall sign can be externally or internally illuminated in accordance with the section on Illumination.

### **Design Standards**

- A** Overall area allocation (max)--see allocation of sign area
- B** Projection (max)--2 inch OR 13 inches for internally lighted or neon signage
- C** Exposed Raceway height--50% of the letter height, OR if the Raceway is used as the sign background, the Raceway may extend 3 inches beyond the largest part of the sign. Refer to Illumination section for additional raceway standards and permitted locations.

### **Illumination**

Illumination of signs shall be in accordance with the following requirements:

#### **External Illumination**

- External light sources shall be placed close to, and directed onto the sign and shielded to minimize glare into the street, sidewalks or onto adjacent properties.
- Projecting light fixtures used for externally illuminated signs shall be simple and unobtrusive in appearance. They should not obscure the sign.

#### **Internal Illumination**

- Channel letters may be internally lit or back-lit.
- For cabinet signs, the background must be opaque. Only graphics, text and logos may be illuminated, and a halo of one inch around graphics, text, and logos may be non-opaque.
- Exposed neon may be used for lettering or as an accent.

#### **Prohibited Light Sources**

The following light sources are prohibited:

- Blinking, flashing, chasing, and sequential lighting. This type of lighting may be allowed for Broadway (not the district but the street) only through a modification. In these cases, the chase or flash should not last less than every three seconds.
- Bare bulb illumination.

#### **Raceways and Transformers**

- Visible transformers are prohibited.

### **V. Demolition**

1. Demolition is not appropriate if a building or a major portion of a building contributes to the architectural or historical significance or character of the district.
2. Demolition is appropriate if a building or a major portion of a building does not contribute to the historical or architectural character and importance of the district.
3. Demolition is appropriate if a building or a major portion of a building has irretrievably lost its architectural and historical integrity and importance, and its removal will result in a more historically appropriate visual effect on the district.
4. Demolition is appropriate if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.120.190, as amended, of the historic zoning ordinance.



**Background:** The structure at 116 3<sup>rd</sup> Avenue South is a one-story commercial building. Although the building was constructed circa 1900, it was significantly altered in 1951.

The building is not considered to be contributing to the historic character of the district because the building has lost its historic integrity.



Figure 1: 116 3<sup>rd</sup> Avenue South.

**Analysis and Findings:** The building's front façade comprises four bays, with storefront doors and industrial windows alternating between them.

Demolition: The proposal includes removing and rebuilding the rear wall. This meets the design guidelines for partial demolition because the building is non-contributing.

Staff finds the proposal to meet section V. of the design guidelines.

Walls: The rear wall will be rebuilt, matching the material and height of the existing wall. This work is appropriate, because the materials to be used, brick and stone, are typical of historic buildings.

With a condition that the masonry selections (brick, stone, and mortar) match historic materials, with samples to be approved administratively, Staff finds the proposal to meet section I. of the design guidelines.

Storefronts, Doors and Entryways: The left bay currently has a modern storefront entrance with an aluminum door, sidelight, and transom. This storefront entrance will be replaced with a new storefront, matching the existing configuration with a dark colored aluminum frame. Staff finds that the contemporary storefront entrance in the left bay is appropriate for the style and period of a non-contributing building. Staff asks to approve the metal and glass color, and the mullion profile of the entrance prior to construction.

Staff finds that replacing the storefront entrance in the left bay meets sections II.A and II.B of the design guidelines.

Although the building has four bays, the remaining three bays appear and function as a three-bay storefront. The center bay contains a doorway inside a shallow vestibule. The existing doors are to be replaced with a pair of new doors. The doors will be wood with a full-light center panel, which are appropriate for the style and period of a non-contributing building.

A new door surround will be added on the sides of the entrance, from the ground to the top of the building's parapet. The surround will be wood or cement-fiberboard. While door surrounds are typical of entrances on historic buildings, the proportions of the current proposal are exaggerated compared to historic examples. However, because the building is not historic, staff finds the proposed door surround to be compatible with the style and period of the building. The existing transom inside the vestibule will remain unaltered.

With a condition that Staff approves the metal and glass color, and the mullion profile of the entrances prior to construction, Staff finds that the new doors and doorway surround in the third bay from the left meet sections II.A and II.B of the design guidelines.

Display Windows, Bulkheads: The remaining two bays contain large window openings, with modern aluminum windows that have a multi-light appearance similar to industrial windows, which sit atop a rowlock brick sill.

These windows will be replaced with new storefront windows with paneled bulkheads above and below. The width and header height will not change, but the sill will be lowered to one foot, ten inches (1'-10"). The opening size is compatible with the openings of historic buildings. The new windows will be aluminum storefront type with a large center pane with muntins dividing smaller panes on the sides and across the top.

Staff finds the configuration of the display windows to be a contemporary adaptation of windows seen on historic buildings nearby, and to be compatible with the style and period of this non-contributing building. Staff asks to approve the metal and glass color, and the mullion profile of the storefront windows prior to construction.

A new paneled bulkhead will be added above and below the new display windows. Bulkheads and transoms are typical of buildings in the overlay, and the proposed bulkheads read as a contemporary adaptation of these types of features. Staff finds the panels to be compatible with the style and period of this non-contributing building.

With a condition that Staff approves the metal and glass color, and the mullion profile of the storefront window prior to construction, Staff finds that the new display windows and bulkheads in the second and fourth bays from the left meet sections II.C and II.E of the design guidelines.

Windows: The windows on the rear of the building will be replaced with new aluminum storefront windows, with a pair of single windows replaced with a set of three windows. The new windows and new window pattern on the rear of the building is compatible with the style and period of this non-contributing building.

Staff finds that the new windows on the rear of the building meet section II.H of the design guidelines.

Paint: Prior to being included in the overlay, the building was painted taupe and then painted its current off-white color in 2014, just before the overlay was extended to include this building. In the current proposal, portions of the masonry façade would be painted blue.

The guidelines state that masonry buildings should not be painted, but if they are already painted, the paint color should match the building’s original brick color. Since the building has been painted numerous times, making it problematic to determine the original color, staff recommends that the building is not repainted, or that the paint color should match brick on the rear of the building.

The proposal to paint portions of the front brick wall blue does not meet section II.M. of the design guidelines. Staff recommends that the masonry color remain as-is or be a historic red brick color.

Lighting: The proposal includes a contemporary pendant light and recessed lighting in the vestibule of the third bay from the left. Staff finds that the recessed lighting in the side panels of the door surround meet the design guidelines, which say that exterior lighting should be concealed, simple, and unobtrusive. Although a contemporary fixture may be appropriate for the style and period of the building, staff finds that a pendant light is not concealed or unobtrusive. A similar fixture, mounted higher or flush-mounted on the ceiling of the vestibule, would be appropriate.

With a condition that the vestibule lighting is concealed, staff finds the proposal to meet Section II.T of the design guidelines.

Signage: The proposal includes a new wall sign over the doorway in the third bay from the left. An existing projecting sign above the entrance on the left bay will remain.

The guidelines permit up to two square feet (2 sq. ft.) of signage per linear foot of primary building façade. This building has forty-one feet (41’) wide, therefore the allotment of building signage on the primary façade is eighty-two square feet (82’ sq. ft.).

Existing Projecting Sign	= 16 square feet
Proposed Wall Sign	= 42 square feet
Total	= 58 square feet

The amount of signage permitted with the existing sign and new signage is within the eighty-two square feet (82 sq. ft.) signage allotment for this building, with fifty-eight square feet (58 sq. ft.) remaining.

The building sign above the door will be backlit letters on the upper section of the new door surround. This type of sign and the proposed location are appropriate.

Signage painted on the inside of the storefront windows is also proposed. This signage, as with other interior work, is not reviewed.

Staff finds the proposed front wall signage to meet Section IV.C of the design guidelines.

The proposal includes a painted signage to be painted on the rear wall after it is rebuilt.



Figure 2: Rear façade of 116 3<sup>rd</sup> Avenue South. This wall is to be rebuilt, with a new windows and similar painted sign one hundred, twenty square feet (120 sq. ft.) in size.

The guidelines allow painted signs on rear facades, not to exceed one hundred and twenty-five square feet (125 sq. ft). The area of the proposed rear wall sign is one hundred, twenty square feet (120 sq. ft.).

With a condition that the rear wall signage is in an appropriate type of paint, Staff finds that the proposed signage on the rear of the building meets Section IV.B of the design guidelines.

**Recommendation:** Staff recommends approval of the proposed alterations, signage, and lighting with conditions that:

1. Masonry selections (brick, stone, and mortar) for the rear wall are approved administratively;
2. The metal and glass color, and the mullion profile of the storefront doors and windows are approved administratively prior to construction.
3. The painted masonry remain as-is, or be repainted a color matching the original brick color as currently seen on the rear wall;
4. The rear painted signage is an appropriate type of paint; and
5. The lighting fixture in the vestibule is concealed.

Meeting those conditions, staff finds that the proposal meets the Broadway Historic Preservation Zoning Overlay design guidelines for Rehabilitation, Signage, and Lighting.

# GOO GOO SHOP

116 3RD AVE S | NASHVILLE | TN | 37201

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METRO HISTORIC ZONING COMMISSION  
BROADWAY HP ZONING OVERLAY  
02.01.2021

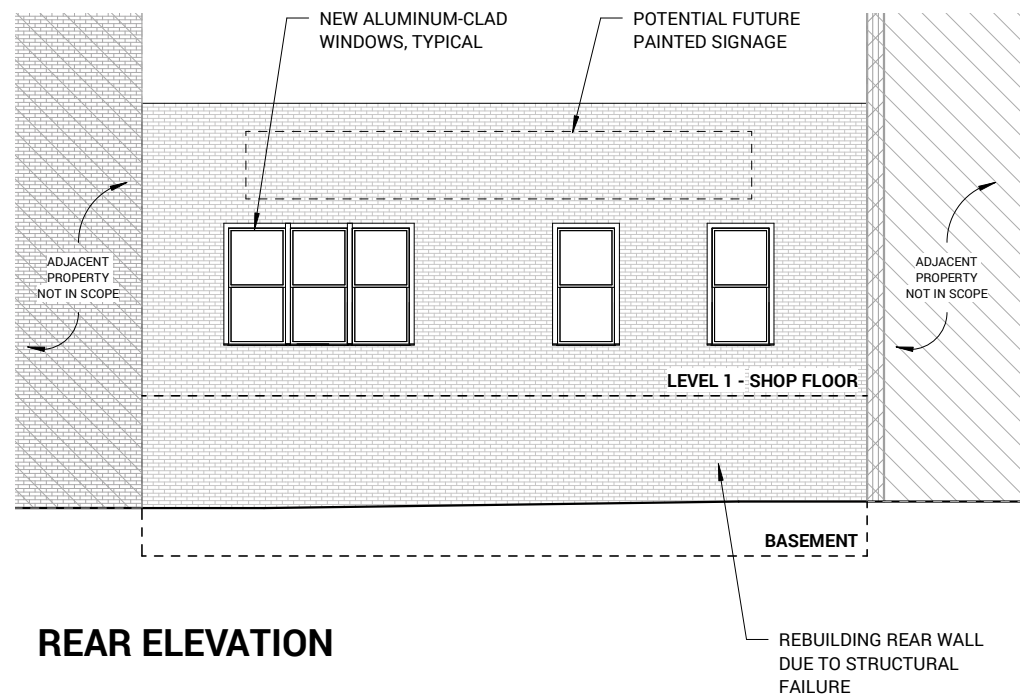




**entry wrap**



**paneling**



**storefront**



# ELEVATIONS

\* NO MODIFICATIONS BEING ASKED FOR SIZE AND HEIGHT. SIGNAGE LOCATION AND DIMENSIONS FOR REVIEW ONLY, FINAL VERBIAGE AND DESIGN MAY CHANGE.



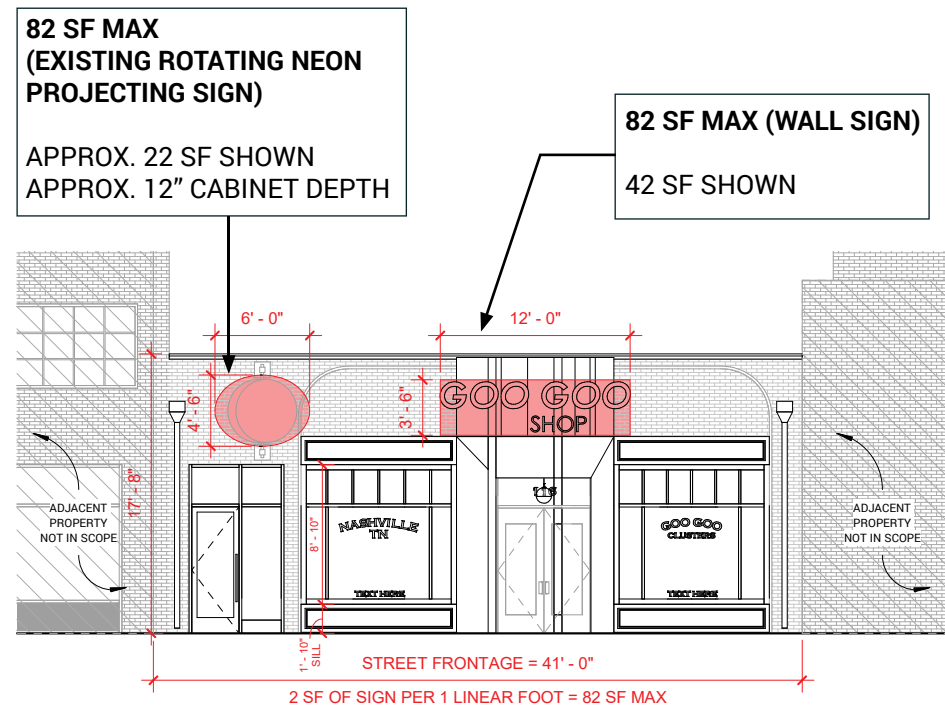
### EXISTING FRONT ELEVATION



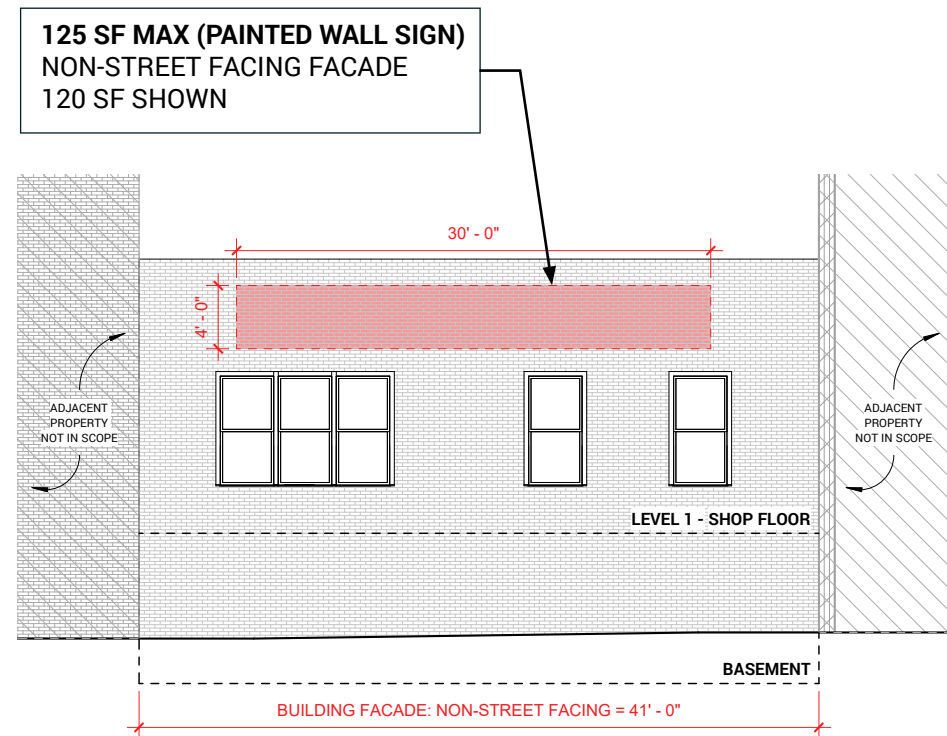
### EXISTING REAR ELEVATION



### PROPOSED FRONT ELEVATION



### PROPOSED REAR ELEVATION



**WALL SIGN**  
PROJECTING SIGN

1.5 SF OF SIGN AREA PER 1 LINEAR FOOT OF BUILDING FACADE OR 36 SF, WHICHEVER IS GREATER.

\*WHERE A PROJECTING SIGN IS USED ON THE BUILDING, AN ADDITIONAL 0.50 SF OF SIGN AREA PER 1 LINEAR FOOT OF BUILDING FACADE SHALL BE PERMITTED, FOR A TOTAL OF 2 SF PER 1 LINEAR FEET OF BUILDING FACADE.

### SIGNAGE DETAILS

\* NO MODIFICATIONS BEING ASKED FOR SIZE AND HEIGHT. SIGNAGE LOCATION AND DIMENSIONS FOR REVIEW ONLY, FINAL VERBIAGE AND DESIGN MAY CHANGE.

### DTC REQUIREMENTS

A - ALLOWED FRONTAGE TYPES WITH REQUIRED BUILD-TO-ZONE	ALL STREETS:	0'
B - FACADE WIDTH	100% OF LOT FRONTAGE MINIMUM	
C - MIN. BUILDING DEPTH	15' FROM BUILDING FACADE	
D - MIN. HEIGHT	40'	NA - EXISTING BUILDING
E - MAX HEIGHT AT THE STREET	ON ALL OTHER STREETS:	8 STORIES TO A MAX. HEIGHT OF 105'
F - MIN STEP-BACK DEPTH	ON ALL OTHER STREETS:	20'
G - MAX HEIGHT	BETWEEN 150' AND 200' OF THE ROW OF BROADWAY, HEIGHT SHALL NOT EXCEED 7 STORIES OR 90'.	
STOREFRONT FRONTAGE	MIN. GROUND FLOOR HEIGHT:	14' FROM GRADE
	MIN. UPPER FLOOR HEIGHT:	10'
		17'-8"
		NA
GLAZING	PRINCIPAL FRONTAGE	
	GROUND FLOOR:	40%
	UPPER FLOORS:	25%
		47%
		NA
	MINOR FRONTAGE	
	GROUND FLOOR:	30%
	UPPER FLOORS:	25%
		NA
		NA

### MODIFICATIONS

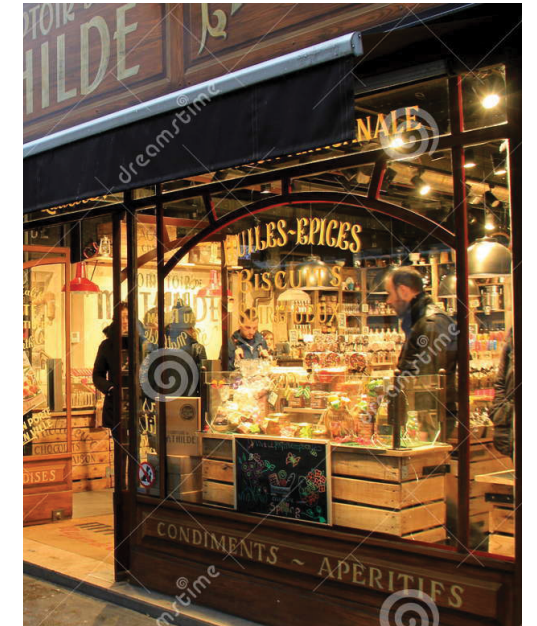


**WALL SIGNAGE**

DESIGN INTENT: DIMENSIONAL BACKLIT METAL SIGNAGE



**PAINTED WINDOW SIGNAGE**



**EXISTING NEON PROJECTING SIGNAGE**



**PAINTED WALL SIGNAGE ON REAR FACADE**

DESIGN INTENT: SIMILAR TO EXISTING PAINTED SIGNAGE



**SIGNAGE DETAILS**

\* NO MODIFICATIONS BEING ASKED FOR SIZE AND HEIGHT. SIGNAGE LOCATION AND DIMENSIONS FOR REVIEW ONLY, FINAL VERBIAGE AND DESIGN MAY CHANGE.