

JOHN COOPER  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970

**STAFF RECOMMENDATION**  
**4909 Elkins Avenue**  
**January 20, 2021**

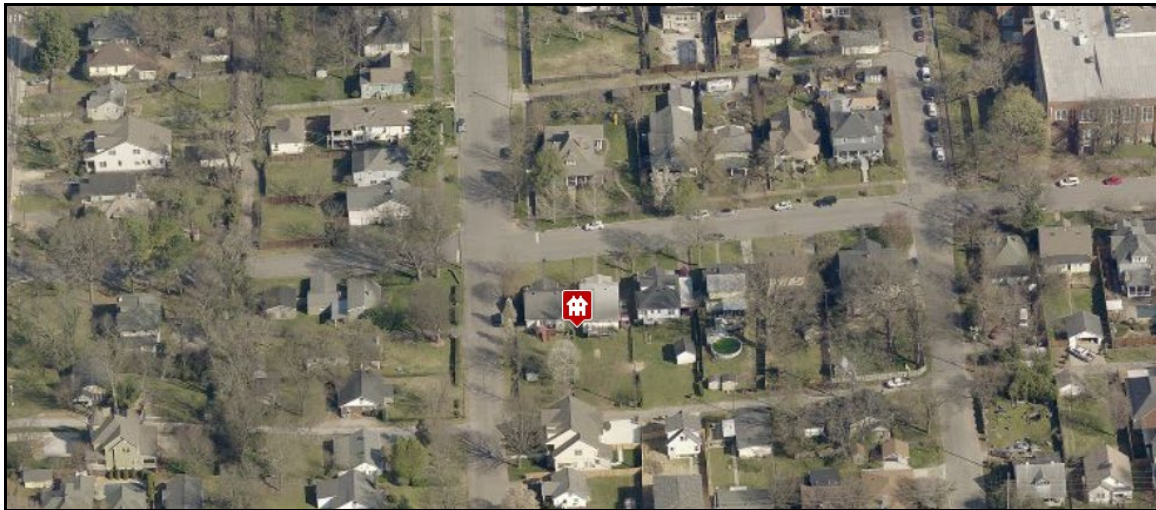
**Application:** New Construction—Infill  
**District:** Park and Elkins Neighborhood Conservation Zoning Overlay  
**Council District:** 24  
**Base Zoning:** RS7.5  
**Map and Parcel Number:** 091150278.00  
**Applicant:** Lynn Taylor, TaylorMade Designs  
**Project Lead:** Jenny Warren, jenny.warren@nashville.gov

<p><b>Description of Project:</b> Application is to construct one and one-half story infill.</p> <p><b>Recommendation Summary:</b> Staff recommends approval with the following conditions:</p> <ol style="list-style-type: none"> <li>1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;</li> <li>2. The front setback should be consistent with the buildings to either side, to be verified by MHZC staff in the field;</li> <li>3. Staff approve the final details, dimensions and materials of the roof color, windows, doors, stone, deck railing and porch post material prior to purchase and installation; and,</li> <li>4. The majority of the windows on the right elevation shall be twice as tall as they are wide.</li> </ol> <p>With these conditions, staff finds that the project meets II.B of the <i>Park &amp; Elkins Neighborhood Conservation District: Handbook and Design Guidelines</i>.</p>	<p><b>Attachments</b></p> <p><b>A:</b> Photographs <b>B:</b> Site Plan <b>C:</b> Elevations <b>D:</b> Context Photos</p>
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**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II.B. NEW CONSTRUCTION AND ADDITIONS**

#### **a. Height**

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

#### **b. Scale**

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Most historic residential buildings have front porches. *To keep the scale appropriate for the neighborhood, porches should be a minimum of 6' deep in most cases*

Foundation lines should be visually distinct from the predominant exterior wall material. Examples are a change in material, coursing or color.

#### **c. Setback and Rhythm of Spacing**

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

*The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. 17.40.410).*

*Appropriate setbacks will be determined based on:*

- *The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- *Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- *Shape of lot;*
- *Alley access or lack thereof;*
- *Proximity of adjoining structures; and*
- *Property lines.*

*Appropriate height limitations will be based on:*

- *Heights of historic buildings in the immediate vicinity*
- *Existing or planned slope and grade*

*In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:*

- *There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- *The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- *An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks.*

#### **d. Materials, Texture, Details, and Material Color**

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate. MHZC does not review the painting of structures.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

#### **e. Roofs**

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

*Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.*

*Generally, two-story residential buildings have hipped roofs.*

*Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.*

#### **f. Orientation**

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

*Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.*

#### *Parking areas and Driveways*

*Generally, curb cuts should not be added.*

*Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.*

#### *Duplexes*

*Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.*

*In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.*

#### *Multi-unit Developments*

*For multi-unit developments, interior dwellings should be subordinate to those that front the street.*

*Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.*

*For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.*

### **g. Proportion and Rhythm of Openings**

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

*In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*

*Double-hung windows should exhibit a height to width ratio of at least 2:1.*

*Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.*

*Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.*

*Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.*

*Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*

*Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.*

### **h. Utilities**

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

Generally, utility connections should be placed no closer to the street than the mid point of the structure.

Power lines should be placed underground if they are carried from the street and not from the rear or an

alley.

**j. Appurtenances**

Appurtenances related to new building, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and site to which they relate.

**k. Public Spaces**

New construction of buildings, structures or additions, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

*Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.*



**Background:** The Commission approved the demolition of the historic house located at 4909 Elkins Avenue in November 2020, finding that the house met the criteria for economic hardship. The historic one and a half story house to be demolished was constructed c. 1925 and is modest in massing at about twenty-three feet (23') tall, twenty-eight feet (28') wide and about sixty-four feet (64') deep. (Figure 1).



Figure 1. 4909 Elkins Avenue.

**Analysis and Findings:** This application is to construct infill. The proposed structure is similar to the historic house in overall massing.

**Height & Scale:** The 4900 block of Elkins Avenue includes a mix of one, one and a half, and two-story historic homes. (Figures 3 & 4) The heights of historic houses on the immediate block face range from about seventeen feet to thirty-five feet (17'-35') tall. The proposed infill falls well within this range with an average height from grade at about twenty-two feet, six inches (22'6"). Houses on similarly sized lots range from

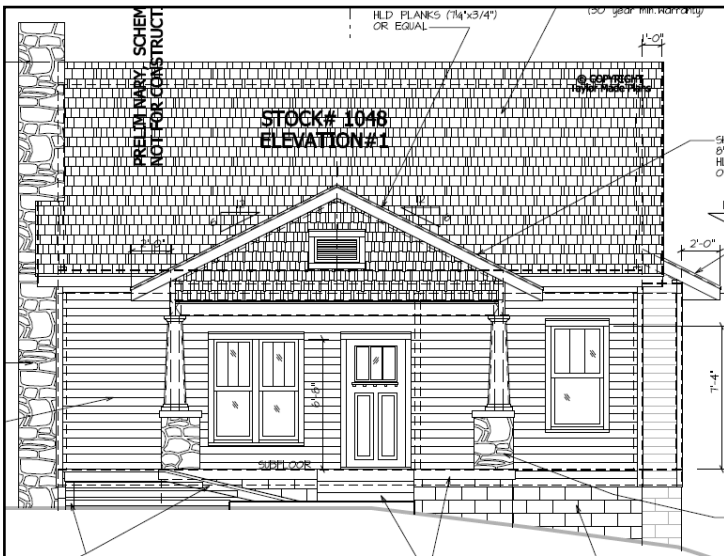


Figure 2. Proposed front elevation

The project meets Section II.B.1.a. and b.

twenty-eight feet to forty feet (28'-40') wide. The proposed house again fits well within this range at thirty feet (30') wide, with a small two foot (2') wide bay on the right side.

The proposed depth is about sixty-eight feet (68'). The proposed house is very similar in massing to the historic house which will be demolished. The infill is modestly scaled and is appropriate to this historic context.



Figure 3. Streetscape. #4909, to be demolished is second from right.



Figure 4. 4904, 4902, 4900 Elkins Ave, across the street from subject lot.

**Setback & Rhythm of Spacing:** The front setback is approximately thirty-one feet (31') and matches the setback of the historic house to be demolished. It lines up with the historic house on either side. The infill is located eight feet (8') from both side property lines. A small bay on the right side sits six feet (6') from the property line. The rear of the house is more than ninety feet (90') from the rear property line. The project meets all base zoning setbacks and the setback and rhythm of spacing are appropriate for the historic context.

The project meets Section II.B.1.c.

**Materials:**

	<b>Proposed</b>	<b>Color/Texture/ Make/Manufact urer</b>	<b>Approved Previously or Typical of Neighborhood</b>	<b>Requires Additional Review</b>
<b>Foundation</b>	CMU	Split faced	Yes	
<b>Cladding</b>	Hardie siding	Smooth 5" exposure	Yes	
<b>Secondary Cladding</b>	Hardie shingle	Smooth	Yes	
<b>Roofing</b>	Architectural Shingles	Color unknown	Yes	Yes



<b>Trim</b>	Hardie	Smooth	Yes	
<b>Front Porch floor/steps</b>	Concrete	Natural	Yes	
<b>Front Porch Post</b>	Not indicated	Needs final approval	Unknown	Yes
<b>Front Porch Column piers</b>	Stone veneer	Needs final approval	Yes	Yes
<b>Chimney</b>	Stone veneer	Needs final approval	Yes	Yes
<b>Rear Porch floor/steps</b>	Wood	N/A	Yes	
<b>Rear Porch Posts</b>	Wood	N/A	Yes	
<b>Rear Porch Roof</b>	Architectural shingles	Color unknown	Unknown	Yes
<b>Railing at second level deck</b>	Unknown	Needs final approval	Unknown	Yes
<b>Windows</b>	Not indicated	Needs final approval	Unknown	Yes
<b>Principle Entrance</b>	Not indicated	Needs final approval	Yes	Yes
<b>Rear Doors</b>	Not indicated	Needs final approval	Unknown	Yes
<b>Walkway</b>	Concrete	N/A	Yes	

With staff approval of the final selections of the roof color; windows; doors; stone; deck railing and porch post materials prior to purchase and installation, staff finds that the project meets Section II.B.1.d

Roof form: The infill has a side gabled roof form with a 6/12 slope. The front gabled projecting porch also has 6/12 slope. The project includes an appropriately scaled rear dormer. Staff finds that the proposed roof form and pitch are appropriate for the historic context.

The project meets Section II.B.1.e.

Orientation: The infill is oriented to Elkins Avenue and includes a walkway connecting the front porch to the street. (There is no sidewalk on this side of Elkins Avenue.) There is a partial width front porch that is seven feet, four inches (7'4") deep.

Staff finds that the project meets Section II.B.1.f.

Proportion and Rhythm of Openings: Most of the windows on the infill are vertically oriented and appear to be approximately twice as tall as they are wide. There are smaller

squared windows on the sides of the dormer, which staff finds to be appropriate in this location. The right side elevation contains mostly square windows. (Figure 3) Staff recommends that the majority of these windows be lengthened to be twice as tall as they are wide. A few could remain as accent windows, but the majority of the windows should be vertically oriented.

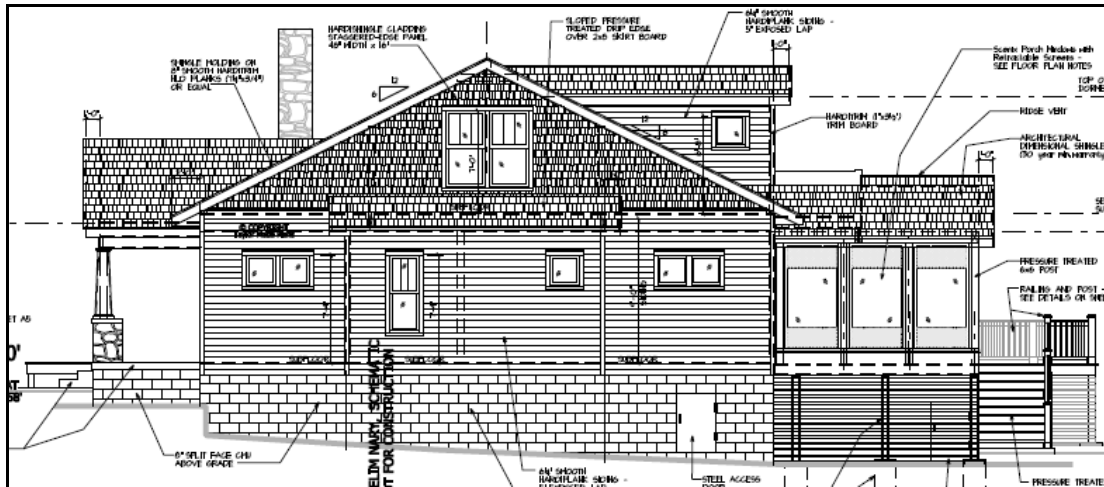


Figure 3. Right-side façade.

With the condition that the majority of the windows on the right elevation are vertically oriented, staff finds the project’s proportion and rhythm of openings can meet Section II.B.1.g.

Appurtenances & Utilities: The HVAC is shown about halfway back along the right side elevation, which is appropriate. The project meets Section II.B.1.h.

**Recommendation:** Staff recommends approval with the following conditions:

1. The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZC staff in the field;
2. The front setback should be consistent with the buildings to either side, to be verified by MHZC staff in the field;
3. Staff approve the final details, dimensions and materials of the roof color, windows, doors, stone, deck railing, porch post material prior to purchase and installation; and
4. The majority of the windows on the right elevation shall be twice as tall as they are wide.

With these conditions, staff finds that the project meets II.B of the *Park & Elkins Neighborhood Conservation District: Handbook and Design Guidelines*.

**Attachment A: Context Photos**



4911 Elkins Avenue – to the immediate right of the subject lot



4905 Elkins Avenue – two doors down from site



4901 Elkins Avenue



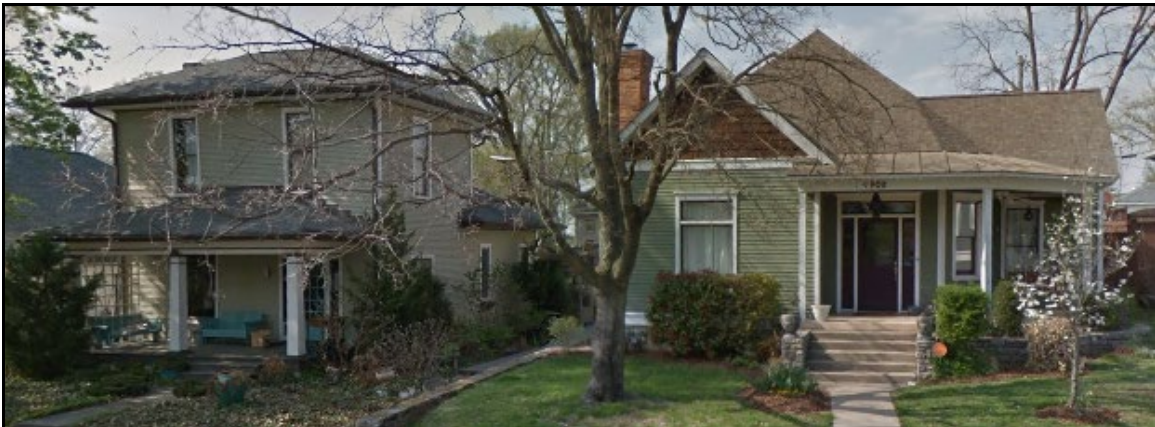
4910 Elkins Avenue, across the street



4906 Elkins Avenue, across the street



4900 Elkins, across the street



4904 and 4902 Elkins Avenue across the street



S 89°11'37" W

20' ALLEY # 1197

46.00'

FENCE 3.0± EAST OF PROPERTY LINE

TAX MAP 91-15 (278)

S 00°46'36" E 180.02'

FENCE 2.3± EAST OF PROPERTY LINE

FENCE 0.2± EAST OF PROPERTY LINE

TAX MAP 91-15 (279)  
EULA MAE &  
FRANK R. CUNNINGHAM  
INST. # 20150311-0020762  
R.O.D.C., TN.

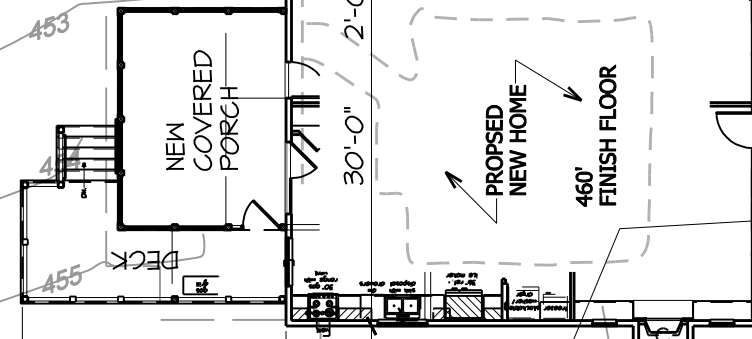
PRELIM NARY, SCHEMATIC  
NOT FOR CONSTRUCTION

TAX MAP 91-15 (277)  
BRADLEY CARL SMITH &  
SARAH KATHRYN ELLIS  
INST. # 20190301-0018780  
R.O.D.C., TN.

FENCE 0.3± EAST OF PROPERTY LINE

FENCE 0.5± EAST OF PROPERTY LINE

REBUILT FRONT PORCH



EXIST. RES.

C.P.

23.2'

NEW HOME TO BE BUILT BACK AT THE SAME FRONT YARD SETBACK

13'-3 5/16"±

23.7'

23.7'

N 89°15'00" E

46.00'

NEW 5'-0" CONCRETE SIDEWALK

23.2'

EXISTING LOW STONE WALL AT GRADE CHANGE

EXIST. RES.

C.P.

SITE PLAN

SCALE: 1/16" = 1'-0"

1/4/2021

4909 Elkins Avenue,  
Nashville, TN 37209

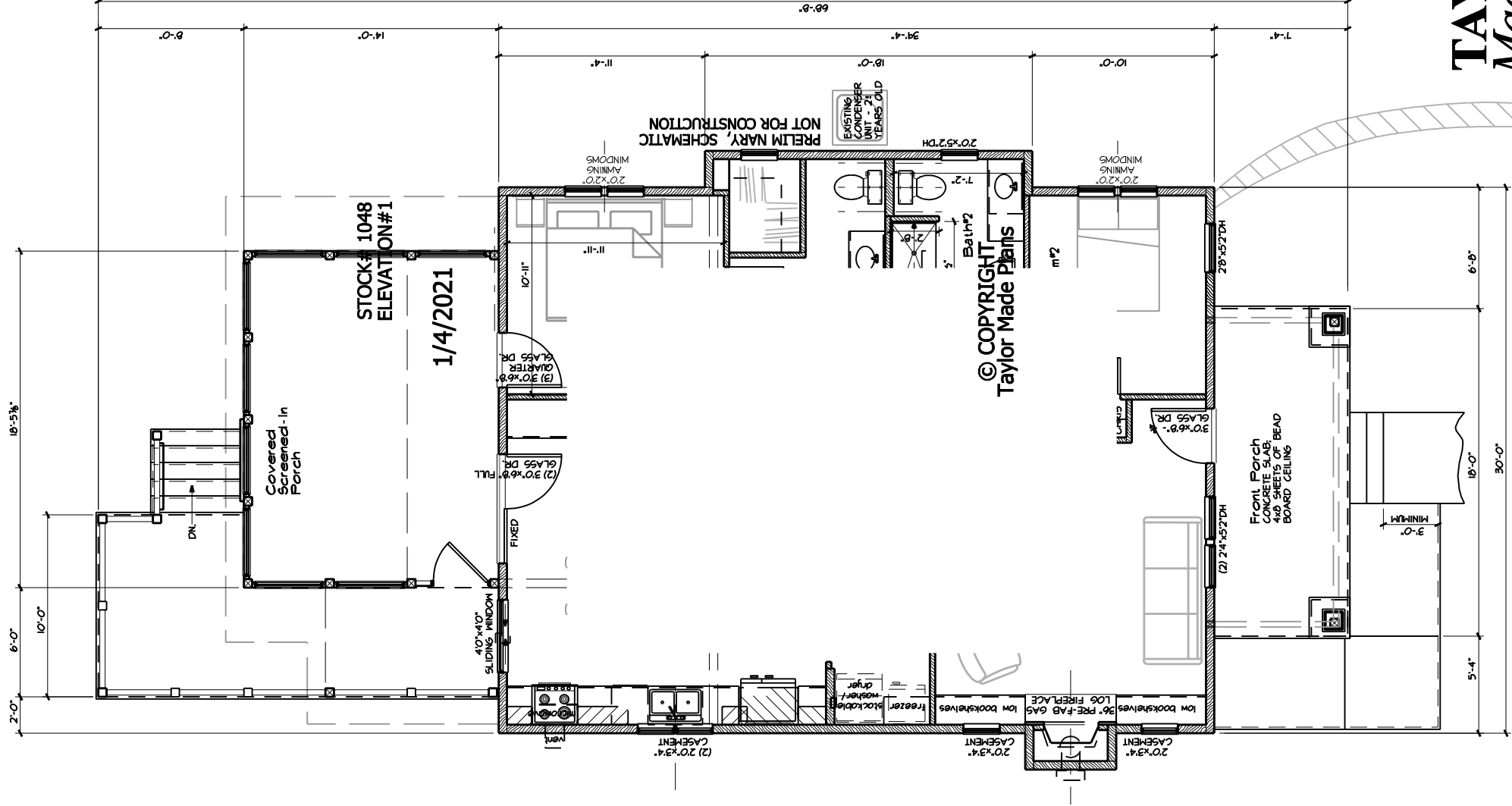
THIS SITE PLAN IS FOR LOCATING THE NEW ADDITION, HOUSE AND / OR GARAGE ON THE PROPERTY. SEE ORIGINAL SURVEY FOR ALL OTHER INFORMATION.

ELKINS AVENUE  
80' R.O.W.



1/4/2021

4909 Elkins Avenue,  
Nashville, TN 37209

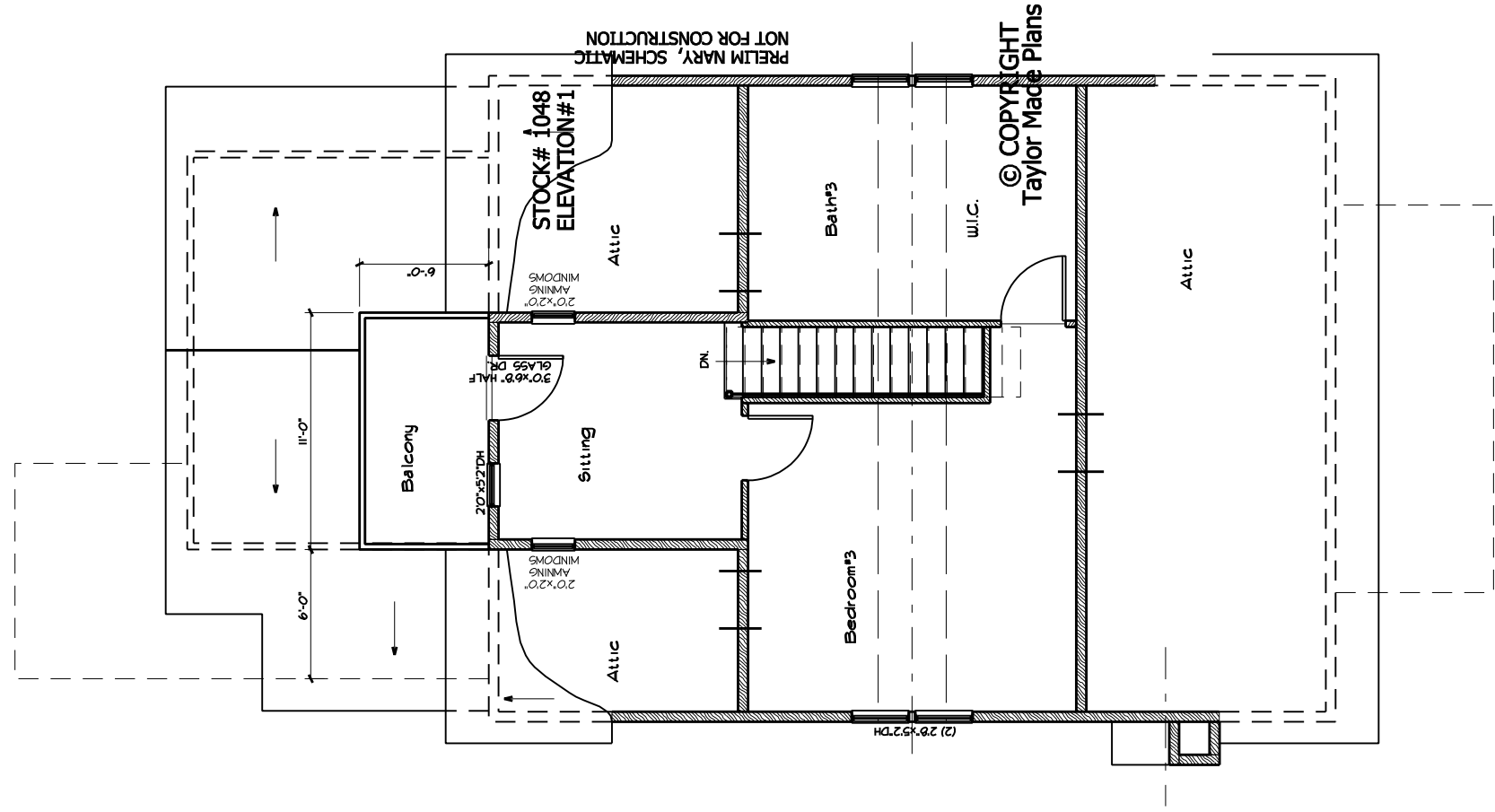


TAYLOR  
MadePlans.com

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

**1/4/2021**  
4909 Elkins Avenue,  
Nashville, TN 37209



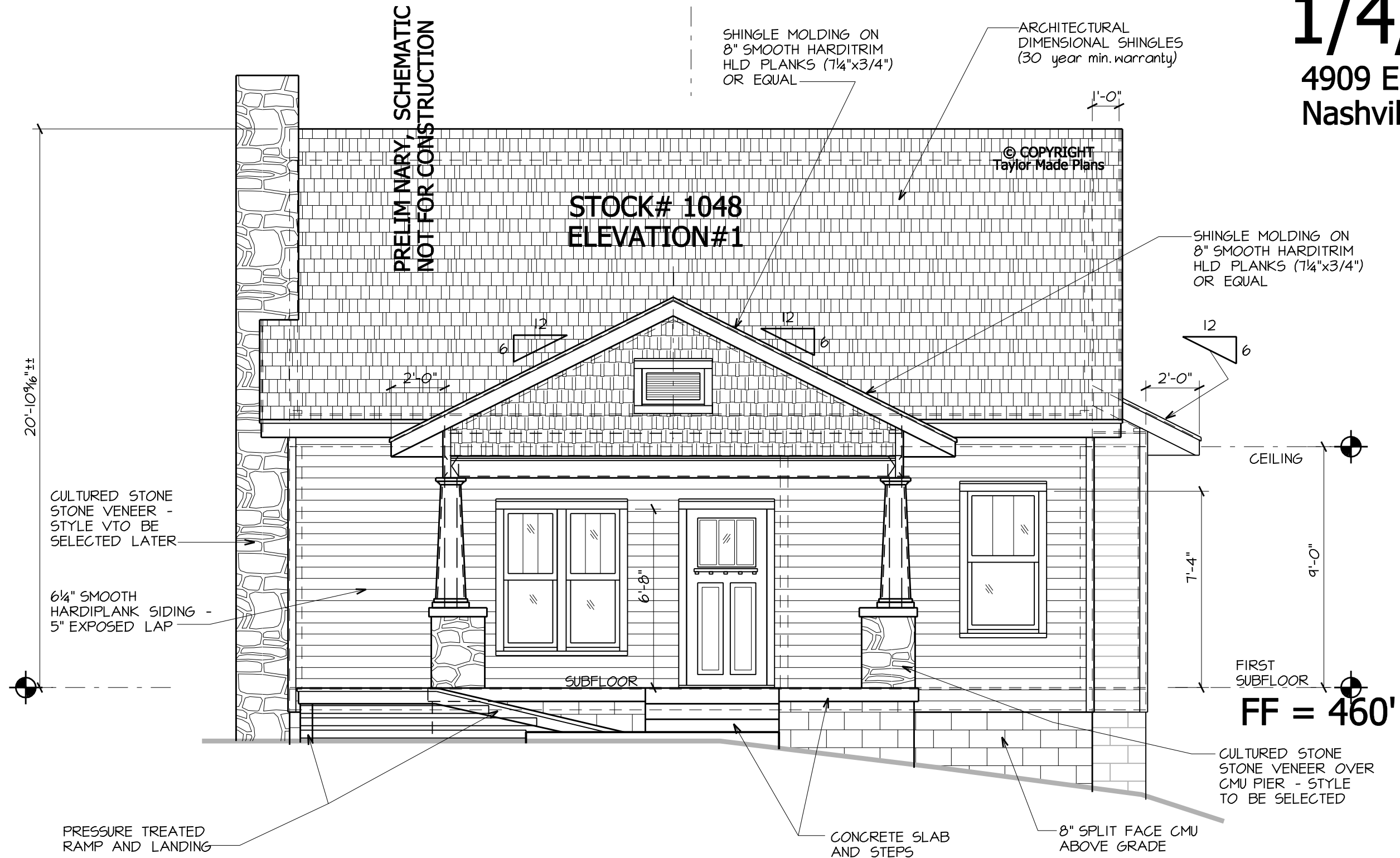
**TAYLOR**  
*MadePlans.com*

## SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

1/4/2021

4909 Elkins Avenue,  
Nashville, TN 37209



1

# FRONT ELEVATION

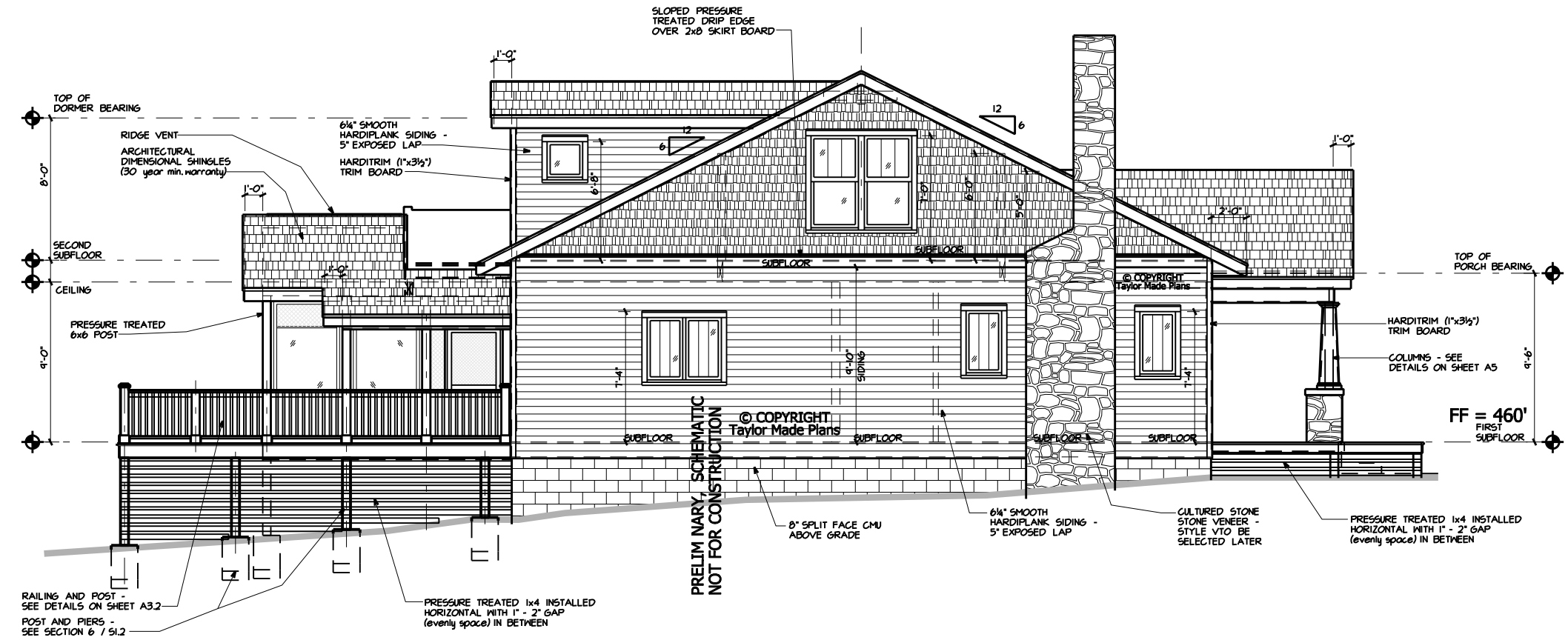
SCALE: 1/4" = 1'-0"

# 1/4/2021

4909 Elkins Avenue,  
Nashville, TN 37209

**TOP TRIM OF DOORS  
AND WINDOWS:**  
METAL DRIP EDGE  
OVER HARDITRIM (1"x3½")  
TRIM BOARD OR  
5/4" TRIM BOARD -  
ORDERED WITH WINDOWS

**SIDE TRIM OF DOORS  
AND WINDOWS:**  
HARDITRIM (1"x3½")  
TRIM BOARD OR  
5/4" TRIM BOARD -  
ORDER WITH WINDOWS



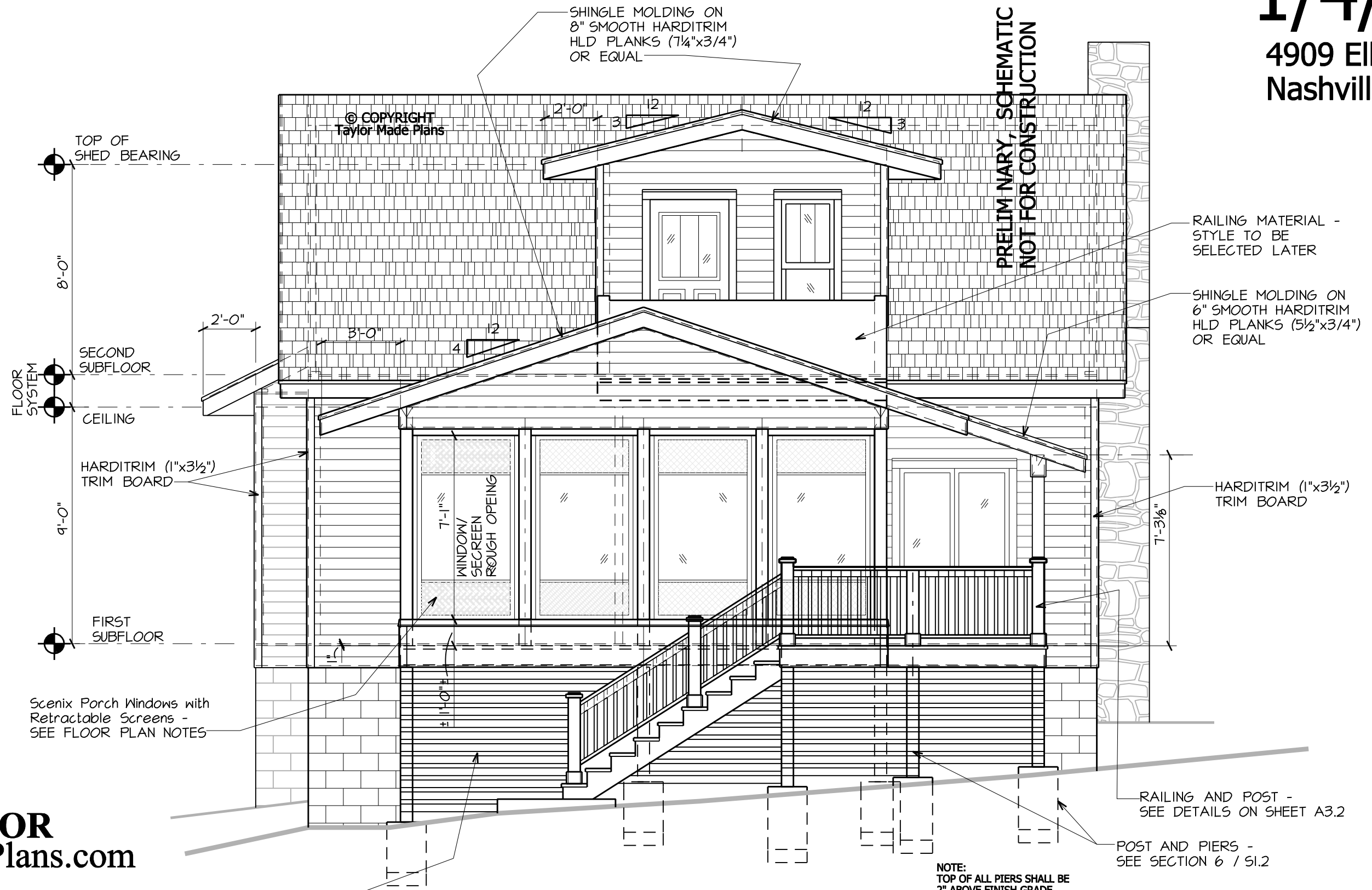
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## LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

1/4/2021

4909 Elkins Avenue,  
Nashville, TN 37209



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PRESSURE TREATED 1x4 INSTALLED HORIZONTAL WITH 1" - 2" GAP (evenly space) IN BETWEEN

4

## REAR ELEVATION

SCALE: 1/4" = 1'-0"

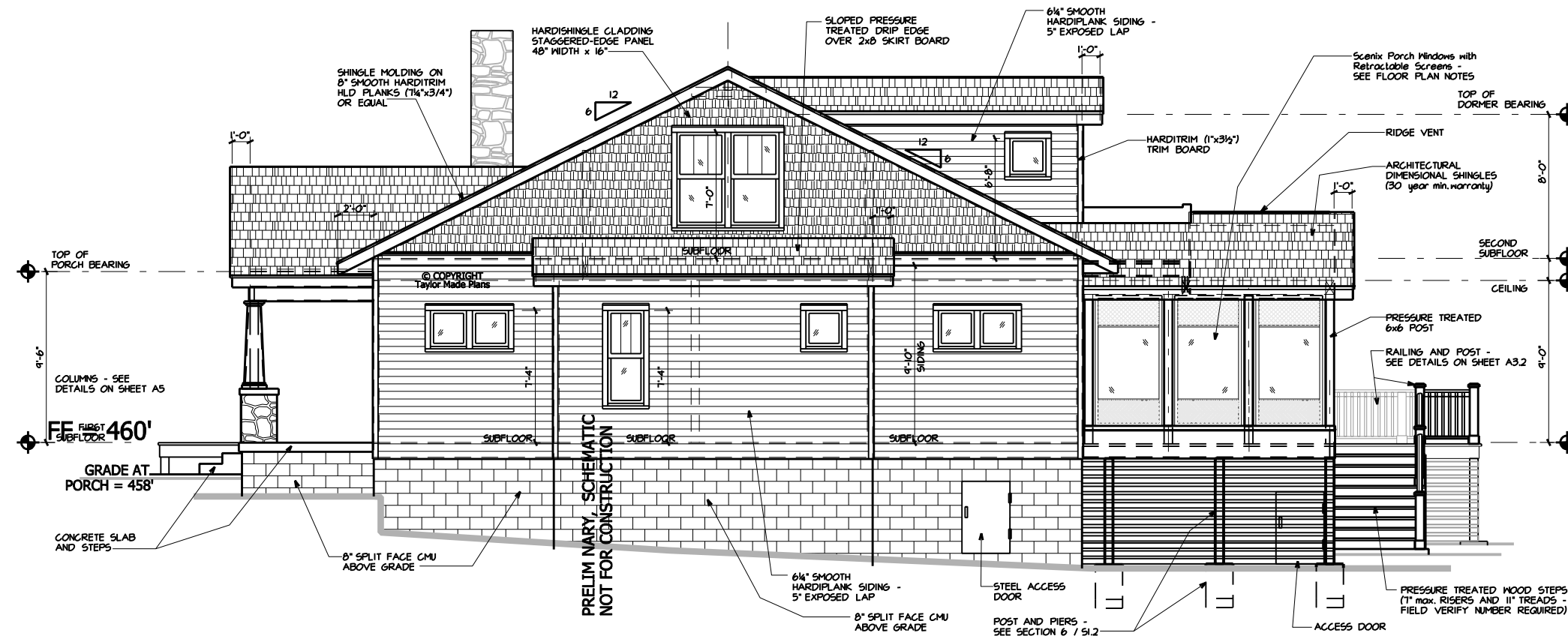


1/4/2021

4909 Elkins Avenue,  
Nashville, TN 37209

TOP TRIM OF DOORS  
AND WINDOWS:  
METAL DRIP EDGE  
OVER HARDITRIM (1"x3½")  
TRIM BOARD OR  
5/4" TRIM BOARD -  
ORDERED WITH WINDOWS

SIDE TRIM OF DOORS  
AND WINDOWS:  
HARDITRIM (1"x3½")  
TRIM BOARD OR  
5/4" TRIM BOARD -  
ORDER WITH WINDOWS



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3

## RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"