

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
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STAFF RECOMMENDATION

1511 Gartland Avenue

January 20, 2021

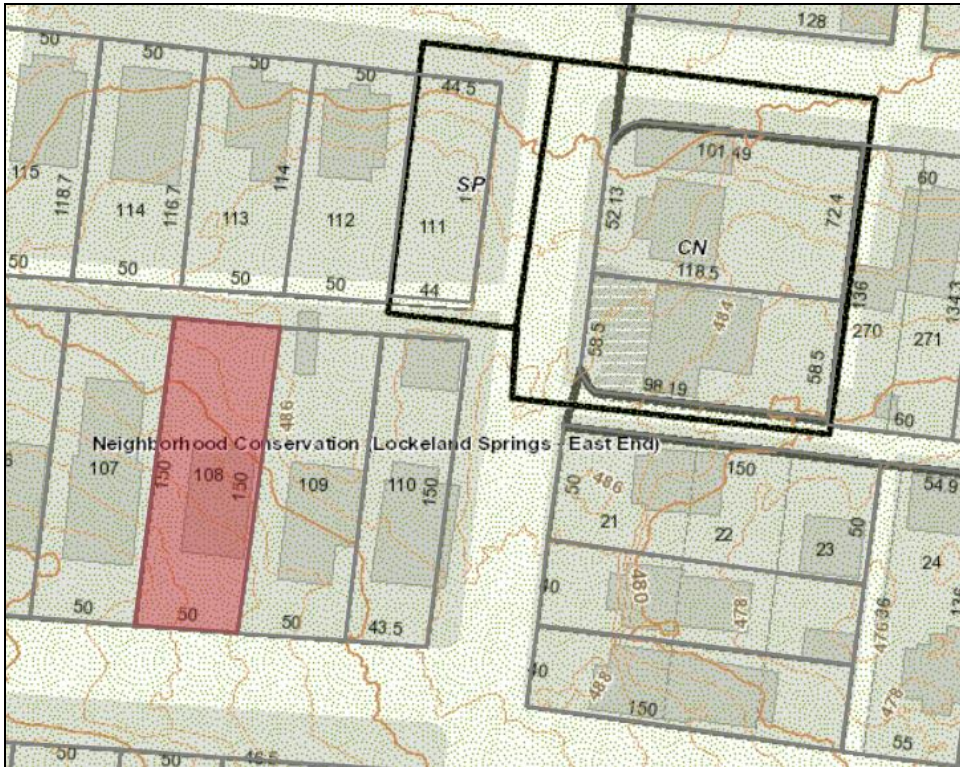
Application: Violation; New Construction—Outbuilding; Setback Determination
District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Council District: 06
Base Zoning: R6
Map and Parcel Number: 08309031300
Applicant: Amanda d'Amour
Project Lead: Paul Hoffman; paul.hoffman@nashville.gov

Description of Project: A prefabricated outbuilding was relocated from the neighboring property without a permit. As installed, it sits on the side property line, so the applicant requests a setback determination from three feet (3') to zero feet (0').

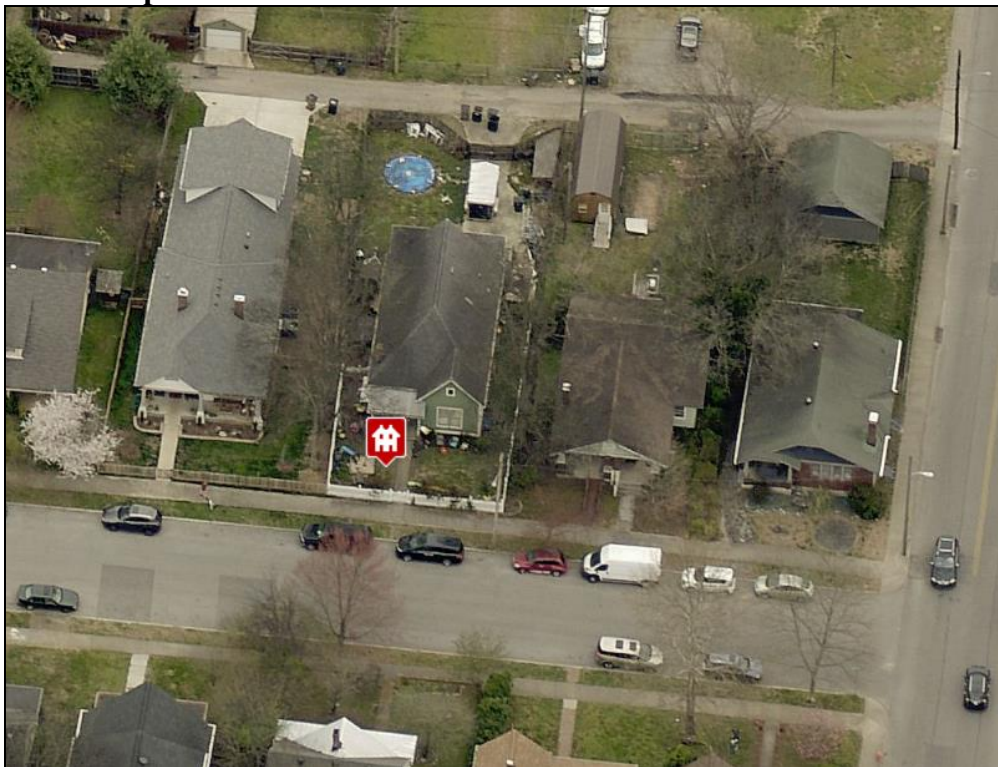
Recommendation Summary: Staff recommends disapproval, finding the project does not meet section II.B.8 for Outbuildings of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay and recommends that the building be removed from the site within sixty (60) days.

Attachments
A: Photographs
B: Site Plan

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B. New Construction

8. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- a. Garages and storage buildings should reflect the character of the existing house and surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADUs or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- *Brick, weatherboard, and board-and-batten are typical siding materials.*

- Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.
 - Four inch (4" nominal) corner-boards are required at the face of each exposed corner.
 - Stud wall lumber and embossed wood grain are prohibited.
 - Four inch (4" nominal) casings are required around doors, windows, and vents within clapboard walls. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

b. Garages, if visible from the street, should be situated on the lot as historically traditional for the neighborhood.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.

Setbacks & Site Requirements.

· *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.*

· *A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.*

· *There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.*

· *At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.*

Driveway Access.

· *On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.*

· *On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.*

· *Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.*

Background: 1511 Gartland is a contributing building c. 1925 in the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.



Figure 1: 1511 Gartland Avenue.

The three hundred sixty square foot (360 sq. ft.) outbuilding was installed on the neighboring property 1513 Gartland in 2016. MHZC staff erroneously issued a permit in 2016. The owner of the house at that time indicated that it was not intended to be on the lot long-term and agreed to remove it in three years. When the owners of 1513 Gartland passed away, the family offered the shed to the neighbors at 1511 Gartland, who had the structure moved to the rear of their lot.

Analysis and Findings: MHZC staff observed that the outbuilding had been relocated to the neighboring lot in November 2020 and notified the owner with an abatement letter sent November 3, 2020. Rather than correct the violation, the owners request to retain the building as-is.

Location: As installed, the outbuilding sits on the right-side property line, and eleven feet, six inches (11' 6") from the rear property line. With no garage doors facing the alley, the outbuilding meets the rear setback. However, the structure does not meet the setback requirements on the right-side, where a minimum of three feet (3') is required.

Staff finds the project does not meet section II.B.8. (b) for location.

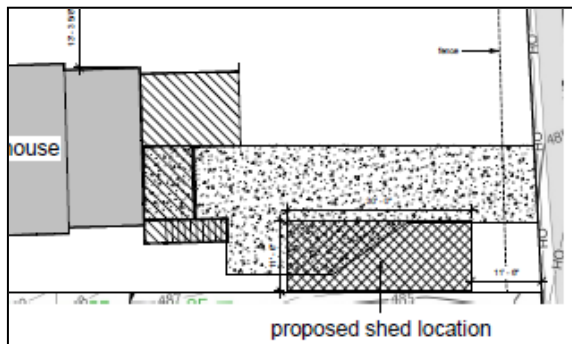


Figure 2: The outbuilding was installed at the edge of the property line with no setback.

Materials:

The outbuilding is clad with T1-11 siding, which is not an appropriate cladding material. Section II.B.8 for outbuildings states that siding may match the cladding on the primary building, or should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.



Figure 3: The outbuilding viewed from the alley.

The foundation is piers, which is not typical of historic foundations. The foundation should be a continuous masonry-type material.

The windows are an aluminum double-hung which meet the design guidelines.

The project does not meet II.B.8 (a) for materials.

	Proposed	Color/Texture/Make/Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	None			
Cladding	T1-11	Grooved	No	Yes
Roofing	Metal	Dark grey	Yes	
Trim	Wood	n/a	Yes	
Windows	Aluminum	n/a	Yes	
Door	Wood half-light	n/a	Yes	

Heights, Scale, and Roof Shape

Storage buildings should reflect the character of the existing house and be compatible with historic outbuildings. In this case, staff finds the scale of the building to be inappropriate because of the low wall height and the gambrel roof form. The existing primary building has a cross gable and pyramidal roof. Although an outbuilding need not mimic the primary building’s form; staff is concerned that both the scale and the proposed roof form together create an inappropriate condition. In the past, the Commission has a required a minimum of a four inch (4") overhang for sheds; the existing eaves are approximately that on the sides, but not on the front and rear of the structure.

Staff finds that the outbuilding does not meet section II.B.8 (a) for height, scale, roof shape, and details.

Recommendation:

Staff recommends disapproval, finding the project does not meet section II.B.8 for Outbuildings of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay and recommends that the building be removed from the site within sixty (60) days.

PHOTOS





① Level 1
1" = 10'-0"

SITE PLAN

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Scale 1" = 10'-0"